



76 Peartree Lane
Welwyn Garden City
Hertfordshire
AL7 3UH

Ms R Collard
Planning Officer
Welwyn Hatfield Borough Council
The Campus
Welwyn Garden City
Hertfordshire
AL8 6AE

18th August 2017

Dear Ms Collard,

Application Reference: 6/2017/1486/VAR

Proposed development at: Unit 13 Peartree Farm Welwyn Garden City AL7 3UW

Proposal: Variation of condition 1 (approved plans) on planning permission
6/2015/1960/FULL.

In response to Mr Talbot's letter to you dated 16th August, I would like to make the following points:

- Whilst I agree with Mr Talbot that there are no windows to the east elevation apart from the roof-lights, there are windows to the north elevation, one of which is at first floor level which will overlook residential properties in Peartree Lane.
- Our main objection is to the raised height of the east (back) and west (front) walls. In the previously submitted plan the view from my garden would have been that of a gabled roof and therefore my amenity would not be obscured. In the revised proposal the view from my garden will be that of a brick wall with a flattened roof.
- The three mature trees are not shown on the drawings submitted therefore it is difficult to see where they are in relation to the proposed building.
- It is also very difficult to see on the plans the separation between the building and our boundary. The proposal mentions a 1m wide footpath to the front and side elevation but nothing about the east elevation.

In regards to 'not sympathetic with the surrounding buildings', I reiterate the point that the residential houses in Peartree Lane are chalet style houses of one and a half height appearance with gabled roofs (the upstairs bedrooms being within the roof void). The

workshops in Peartree Farm are all single storey with gabled roofs. The proposed building will be two stories and therefore will be dominant in appearance.

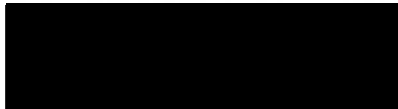
I also note from the Planning website that the status now reads 'Site visit complete'. Presumably either you or one of your colleagues has visited the proposed site. This visit would not have shown the view from our gardens. Our gardens are 1.5 – 2m below the ground level of Peartree Farm therefore the proposed 7m height will actually appear as 8.5 - 9m in height from our perspective which is why the height of the east elevation and roof pitch are important to us.

I have taken the liberty of amending Mr Talbot's drawings to try to illustrate the issue with the east elevation (enclosed).

Whilst Mr Talbot has been a good neighbour over the years we really do feel that the proposed revised design for the building will blight the outlook from our houses and rear gardens.

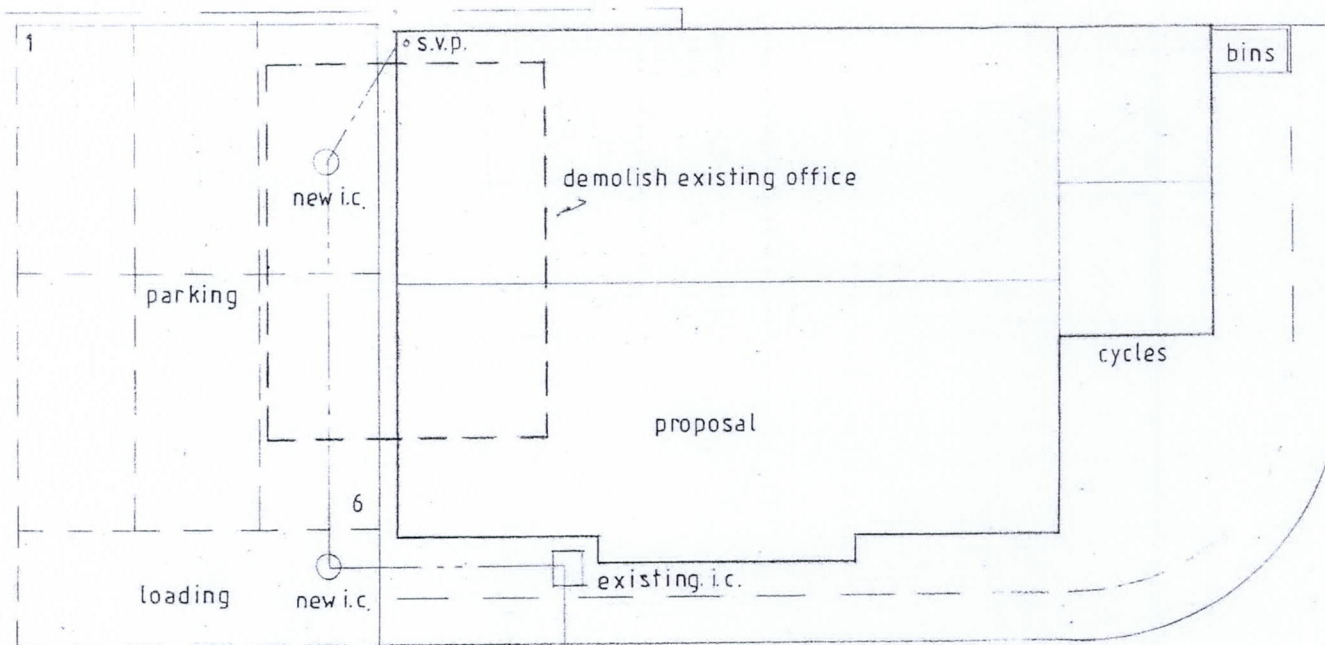
Should you require any additional information, clarification of any of my comments, or would like to arrange a visit to my home, please do not hesitate to contact me on the number above.

Yours sincerely

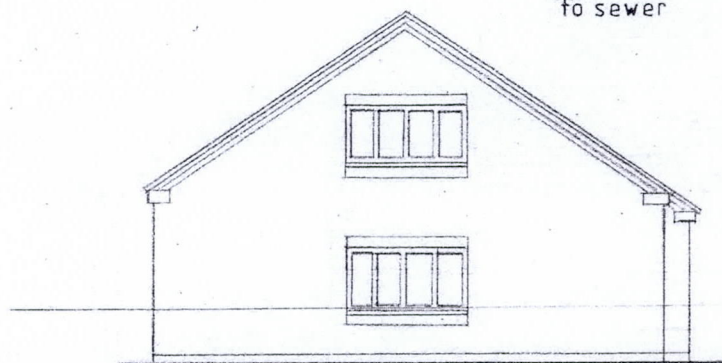
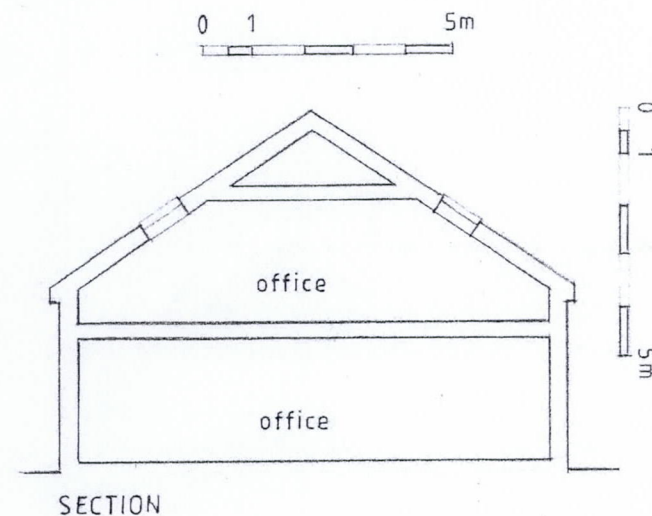
A solid black rectangular box used to redact the signature of Jayne Ranshaw.

Jayne Ranshaw (Mrs)

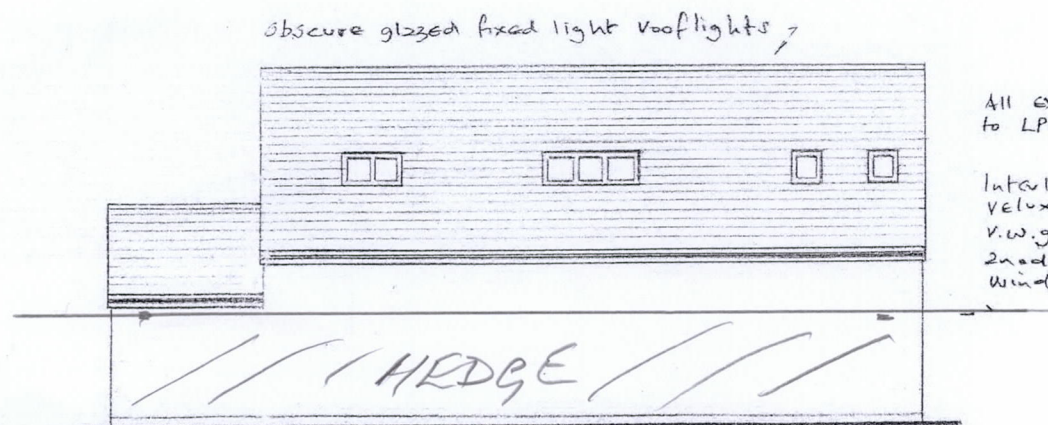
Enc. Drawing 08/603/02 (amended)
Drawing 08/603/11 (amended)



SITE PLAN



NORTH ELEVATION



EAST ELEVATION

Interlocking roof tiles;
Velux vooflights; upvc
v.w.g.'s; brickwork walls;
2nd fixed aluminium
windows

A3

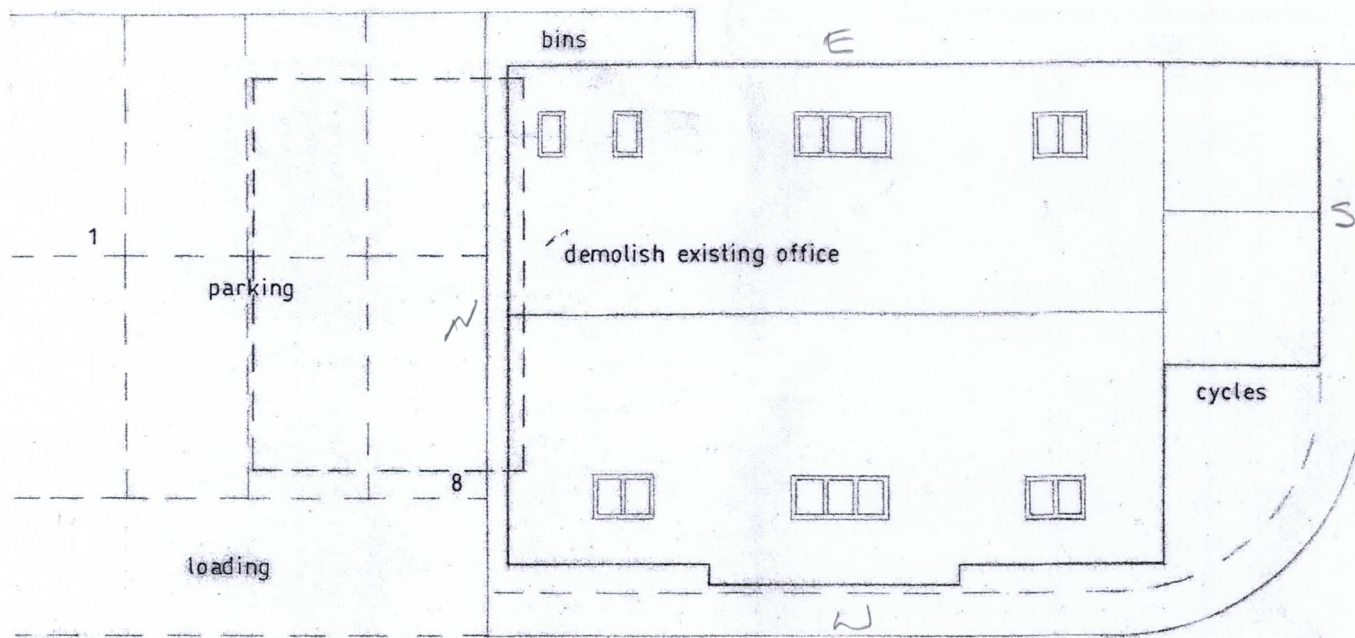
B1 DEVELOPMENT, 13 PEARTREE FARM BUSINESS ESTATE, AL7 3UW

PROPOSAL

SCALE 1:100

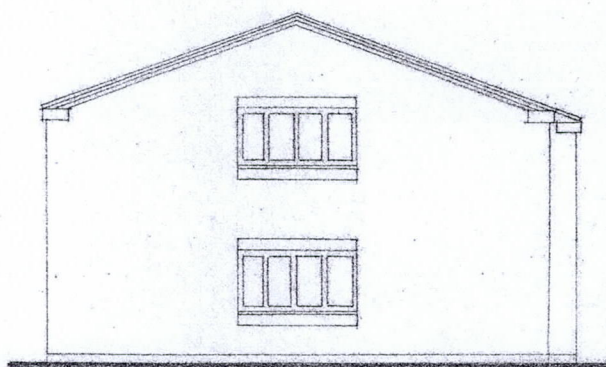
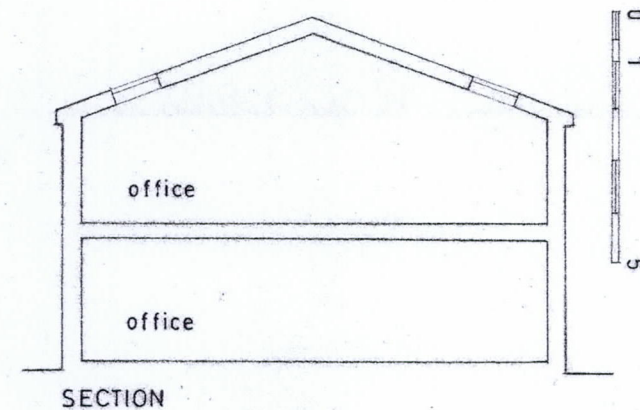
JULY 2008

08/603/02

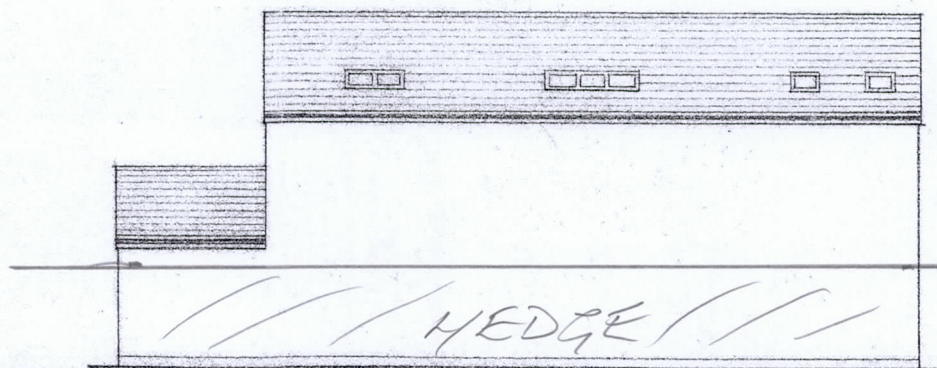


SITE/ROOF PLAN

0 1 5 10m
1:100 A3



NORTH ELEVATION



EAST ELEVATION

→ All external facing materials to L.P.A. approval.
interlocking roof tiles,
velux rooflights (obscure
glazed fixed lights to East
elevation), brickwork walls,
anodised aluminium joinery

B1 DEVELOPMENT, PEAR TREE BUSINESS ESTATE, AL7 3UW

PROPOSAL

SCALE 1:100

JUNE 2017

08/603/11