

Badgers End, 76 Brockswood Lane, Welwyn Garden City
Proposed Extensions

PLANNING DEPARTMENT
OFFICE COPY

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2010/3084



Application for Planning Permission: Design & Access Statement



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View of number 76 from Brockwood Lane

1. Introduction / Brief

The purpose of this document (DAS) is to explain and justify the scheme design, and to help provide necessary information to the Local Planning Authority (Welwyn Hatfield Borough Council, WGC Estate Management Scheme, and other consultees involved in the planning process) to understand and assess the proposals with regard to relevant planning policy.

The brief for the proposals are to provide an extension to this family home, designed around the clients envisaged requirements, that is:

- Sympathetic to the original house;
- Respectful of its context - the site itself and wider context of this area of WGC;
- Able to respond to the needs and aspirations of a long-term family home, and to enhance the experience of a house and place to live.
- Sustainable - Environmentally low impact where economically possible.

These issues undergo continuous appraisal throughout the project and have therefore informed development of the detailed brief and the scheme's corresponding design principles. They are discussed more fully in later sections of this document.

Proposed Extensions, Badgers End, 76 Brockwood Lane, Welwyn Garden City Planning Submission: Design & Access Statement

2. Site Context & Conditions

Badgers End (76 Brockwood Lane) is a distinctive, architect designed, early 20th century house, located at the top of a hill on what was originally the west approach road into WGC, the second Garden City set up by Sir Ebenezer Howard.

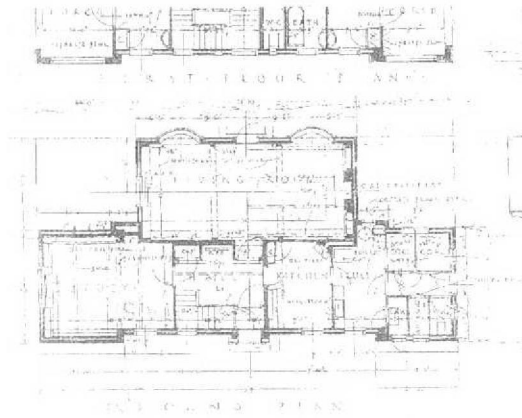
Designed by one of WGC's architects of the time (CH James) and then built in the early 1920's for members of the Gray family (one of the Directors of WGC Ltd who established the Garden City Estate and was also involved with various local businesses and cultural enterprises) the house is a mix of visual features based on both classical neo-Georgian and Arts & Crafts architecture. Its siting would have presented its grand "front" elevation, looking over its own gardens, down the hill to oncoming traffic when originally built, almost surrounded by, and part of the edge of woodland to the north and east. There is no strong geometric relationship to the road (now one way - exiting away from the town), and the house sits at an angle almost end-on to its entrance as one of the last houses on Brockwood Lane.

Brockwood Lane runs east west from Bridge Road, leading from the centre of WGC, towards the Great North Road, which runs parallel with the A1 to the west of the town. Lined on both sides with red brick or white rendered houses, very typical of the Garden City Arts & Crafts style of the early 20th century. Predominantly two storey pitched roofed with plain tiles, and with occasional classical neo-Georgian features such as pediments, cornices, or window & door canopy detailing. All houses are set back from the tree lined road with gardens and footpaths. Number 76 is the last house along the road heading west, and traffic becomes one way just beyond its garage access drive. Adjacent to number 74 (one half of a pair of the white rendered houses) to the south-east; the local scout hut at the bottom of the hill to the north-west; with Welwyn Garden City Golf Club located across the road; and the horticultural centre further west.

Distinctively different from all other houses in the area, it was obviously designed as a grand set piece relative to the status of the owners who commissioned it. Standing under twin high pitched roofs (the second floor attic) finished with rolled profile tiles with tall chimneys and dormer windows, its brick elevations are articulated with georgian style white painted timber mullioned windows, curved window bays, and georgian style classical pediments and pilasters to doors. Those windows facing the garden and street have timber shutters, and the garden-facing west elevation includes the projecting curved window bays and a grand segmented pedimented entrance door. This door is actually the garden door to the living room, with the main house entrance on the east side of the house, expressed within a three storey arrangement with large stairwell window with balcony above and topped by a lead clad triangular pediment at roof level. The west part of the house has its eaves hidden behind parapet walls and has brick gables, with the longer eastern side comprising overhanging timber boarded gables and a mix of overhanging eaves and truncated parapets on either side of the central pedimented attic roof bay.



Aerial photo (courtesy Google) - Site outlined with dashed red line



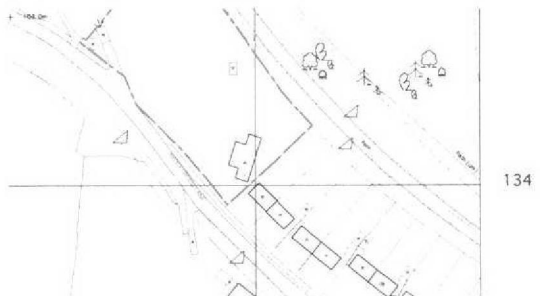
Original architect's plan of the house



Adjacent houses on Brockwood Lane (south)



Adjacent houses on Brockwood Lane (north) - number 76 is to the left

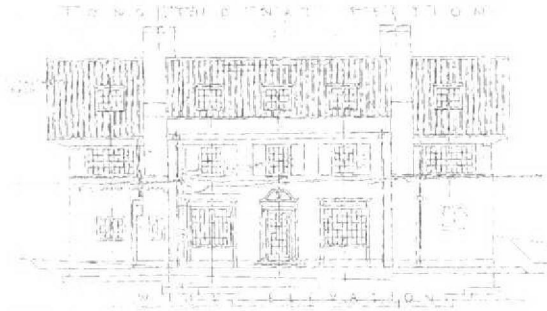


OS extract of number 76 Brockwood Lane

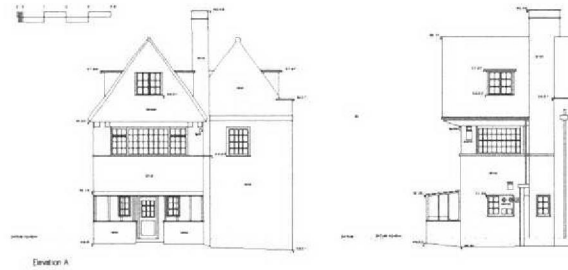


View of number 76 from Brockwood Lane (elevated view)

Proposed Extensions, Badgers End, 76 Brockwood Lane, Welwyn Garden City Planning Submission: Design & Access Statement



Original architect's west elevation of the house



Measured survey elevations of the house (north end on left)



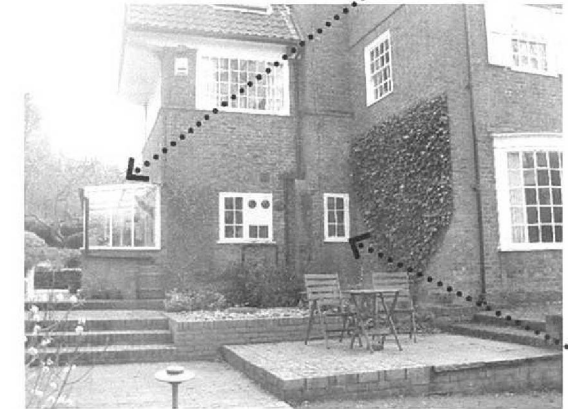
View of west elevation, facing the garden



View of south elevation, (photo montage)



View of east elevation, with the house's main entrance in the centre



View of north end of house (site for proposals)

2. Site Context & Conditions (continued)

Original accommodation spread over three storeys included servants quarters, kitchen & scullery, as well as open air sleeping porches on the first floor and a grand living room on the ground floor. The sleeping porches were internalised by previous owners with the kitchen, scullery and coal store rooms now in need of being adapted to current living standards.

The house is located on the south eastern part of the site, with its gardens running down the hill to the north west. It is assumed that this was previously part of the wood, with a good number of large mature trees spread across the grounds. Behind the house is a single storey poolhouse (previous application ref. N6/2001/0303/FP), with the garage to the house located to the north west of the site (previous application ref. N6/1998/0991/FP).

To the north of the house is a single storey part brick part single glazed lean-to structure.

The proposals are:

- To replace the lean-to structure with a more efficient single storey extension accommodating a boiler and utility room for the house;
- To update the current kitchen/scullery areas and provide visual and physical connections, via a new extension as noted below, to the garden;
- To provide an informal family dining area, as a single storey extension, adjacent to the kitchen.

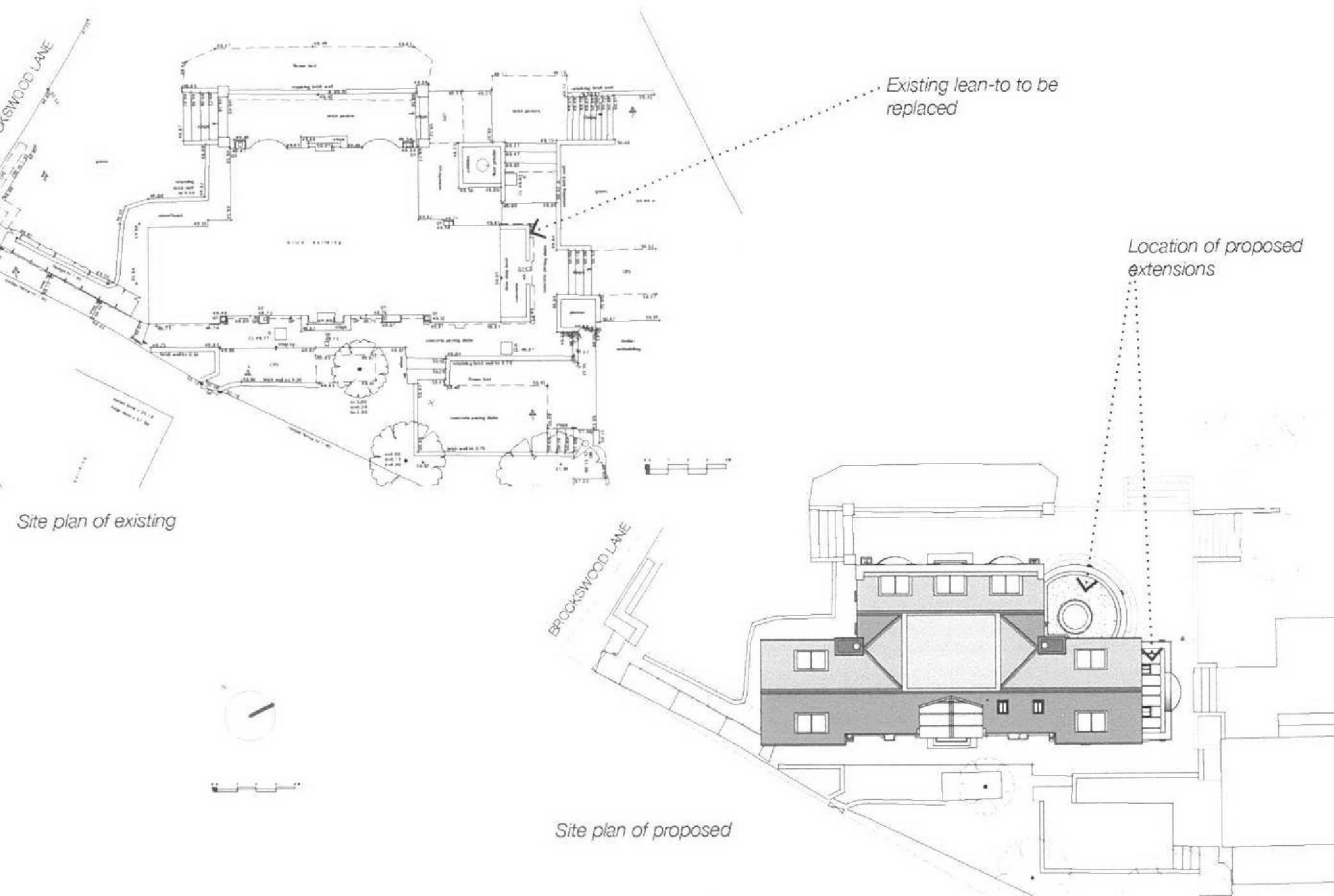
As can be seen from the enclosed plans, these single storey extensions are to the north of the house and as such are well screened from view of other buildings on the street, with only slight distant glimpses to be viewed when at the bottom of the hill (with the original house still dominant). No properties along Brockwood Lane (e.g. Number 51, opposite) have a view of the proposals except numbers 74 & 72 (adjacent neighbours) who could glimpse the eastern edge of the replacement (utility) extension obliquely across planted boundary lines*. The applicants have also discussed the proposals (including this document) with their direct neighbours at number 74, who have stated they are supportive of the design and proposed extension.

* See also comment in Section 4, Item vii.

Existing window providing views to garden from kitchen



3D model study showing the proposals as viewed from the south west (Brockwood Lane area)



3. LPA Pre-Application Consultation

Initial contact was made with Welwyn Hatfield Borough Council Planning office (LPA) on 27th August 2010 regarding the project. The duty planning officer was Jackie Phillips, who confirmed that the property is in a conservation area (26421 Welwyn Garden City) with relevant planning policy from the District Plan applying. Noted policy references are R22, Development in Conservation Areas; R23, Demolition of Buildings in Conservation Areas (applies to any building or structure to be removed); and R24, Character Appraisals & Enhancements.

It was also confirmed that the property is within WGC Estate Management Scheme (WGC heritage protection), with an application being required.

The scheme was submitted for pre-application comments on 12th October 2010 with the Planning Officer, Sarah Mountford, making reference to the Hertfordshire Structure Plan Review, Welwyn Hatfield District Plan, Council Policy on Design Guidance, and Planning Policy Statements PPS1, PPS5, GBSP2, along with reference to the Estate Management Scheme Policy EM1, commenting as follows:

"With regard to the proposed size and scale of the extensions I raise no concerns and consider they would be appropriately subordinate to the existing dwelling. However with regard to the detailed design and appearance of the extension, single storey extensions in the Garden City are required to be designed with a flat roof. ...the proposed extension...designed with a mono pitched roof... would be required to be altered to a flat roof which would be characteristic of the garden city otherwise concerns would be raised."

".. it would be expected that any fenestration in the proposed development should reflect the existing fenestration in the original property."

"In conclusion, based on the submitted plans, providing the amendments were made, I consider no concerns would be raised."

The planning officer also asks for a BS5837 compliant tree survey and method statements for protection during construction.

4. Scheme Description & Design Response

Environmental and architectural aspirations are integrated within the scheme design and can be summarised as follows:

- To maintain a building of character, with proposals that are sympathetic, architecturally interesting and considered in relation to the original;
- To provide a design that is responsive to its site, local setting and wider context, and offers a sympathetic enhancement of its existing environment;
- To incorporate passive solar design principles, and good practice for sustainability, low energy use & emissions, efficient use of resources, and appropriate low embodied energy/natural materials.

Certain site conditions impose constraints on the design and therefore the scheme responds to various influences in addition to the requirements of the brief. Issues arising from these condition studies are:

i. Views from the proposed extension to the garden.

At the moment the kitchen has little connection with the garden (one small window only) and the opportunity to provide direct access to, and improved views over, this asset are integral to the brief/design.

ii. Location and depth of foul drainage.

There is an opportunity to improve the existing shallow drainage as part of this scheme, with a new pumped inspection chamber and connection (located underground).

iii. Location of existing windows.

Existing first floor windows and their views need to be retained - the proposed extensions are single storey with either a flat roof or low pitch as appropriate to each location to avoid interference.

iv. Spatial constraints within the existing building.

v. The existing terracing.

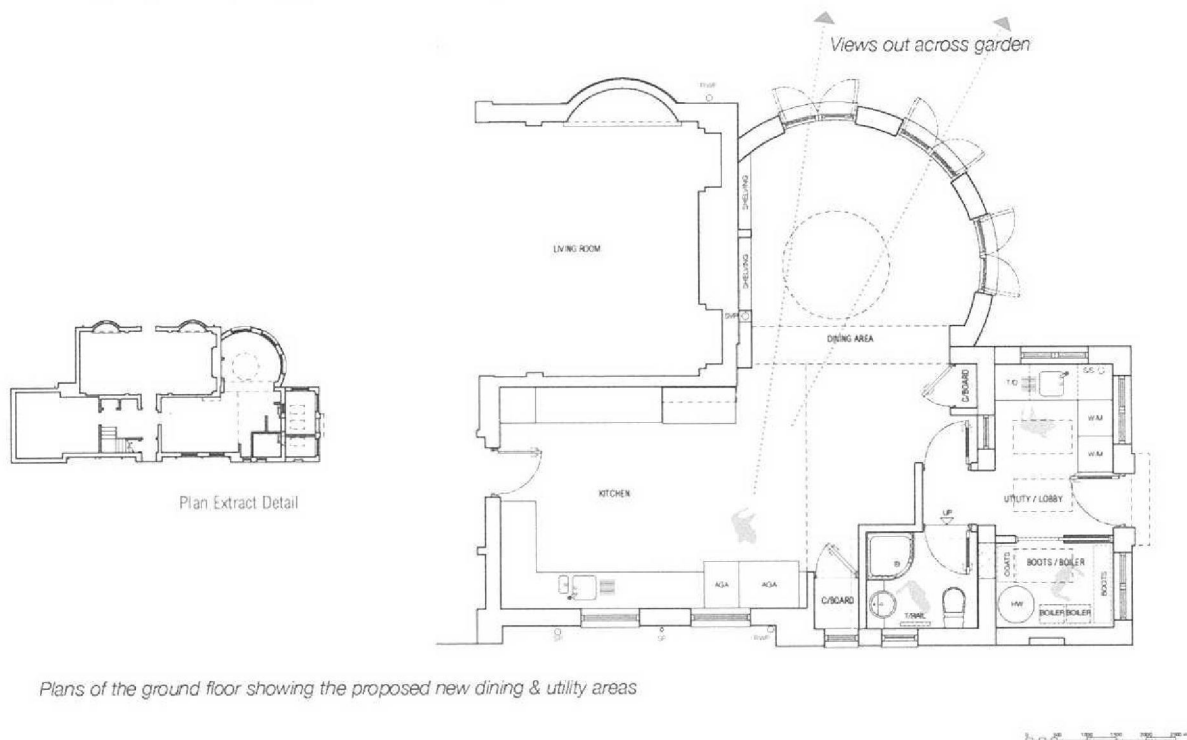
The high position of the house relative to the garden provides opportunities to enhance the existing landscaping and its relationship with the house and garden.

vi. Sun paths & site shading.

Both extensions are to the north of the main house and therefore will be in its shadow for much of the day (more so in winter).



3D study image showing the proposals viewed from the garden.



Plans of the ground floor showing the proposed new dining & utility areas



4. Scheme Description & Design Response (continued)

vii. The WGC Conservation setting.

The proposed extensions are designed to sympathise with the original building and the local architecture of the Garden City. Neither extension impacts on neighbouring buildings - no reduction of natural light, sunlight or privacy - due to their size and proposed location to the north of the existing house.

viii. The era, character (architecture), and features of the existing house.

The proposed design makes reference to existing original features of the house. The profile and detail of the utility area roof is a direct reference to the profile and detail of the west facing parapet roof (B); The circular form of the dining area extension refers to the curved living room window bays and has a non competitive (geometric) relationship with the original house (A); Windows and doors are mullioned and similar in proportion to the windows and doors of the original house; recessed brick panels (E) used on the east elevation are used in a similar way on the utility extension to add interest and relief; the height of windows and cornice lines (C) are referred to in the proposed fenestration details. Materials proposed will match as far as practically possible those in the original house, for example brickwork, windows and doors, lead roofing (D) and parapets.

In summary the proposals can be described as follows:

- Kitchen / Dining extension. Circular (radiused, not a full circle) in plan to relate to the original geometry and features, and provide a subtle form in sympathy with the form and size of the original house. Flat roofed with parapet wall termination to relate to the parapets of the original roof adjacent, and to avoid interfering with existing first floor windows. Glazed terrace doors (visual and physical access to garden) are mullioned (to match original fenestration) painted timber with cornice lines and heights relating to the adjacent original circular window bays. Rooflight to provide natural light (shaded) and ventilation to the kitchen. Materials are to match original.
- Utility Extension. Width to match width of original house. Parapet walls to match original house details. Low pitch roof to avoid interference with existing first floor windows, and clad in lead (as dormers, pediments etc on original). Conservation style roof lights to provide natural light and ventilation. Mullioned, painted timber windows and glazed back door to match original details. Brick panel recesses to match original house details to articulate the external elevations. The back door will be used quite often by the owners and a canopy is required. This simple, curved in plan form again makes reference to other details on the original house and as seen in the area. Materials to match original.

- Conservation style rooflights to the original roof to provide natural light and ventilation to an internal room in the attic.

3D study model showing the proposed new dining & utility extensions and the relationship with original or existing features on the house

5. Response to LPA Pre-Application Comments (Welwyn Hatfield Borough Council Development control letter dated 1st November 2010 Ref. N6/2010/2248/PA)

Concern over use of "monopitched" roof.

The existing part-glazed, part-brick structure to the north of the house will be replaced with a much enhanced extension which respects and relates to the character and context of this house and the wider area of WGC. As architects we firmly believe a flat roof in this area would be detrimental to the intentions of the original house design and may appear clumsy and awkward, harming the visual appearance of the property. This (request for a flat roof) seems counter to the intentions of the District Plan and its requirement "to complement the design and character of the dwelling", respect distinctiveness and avoid "standard building designs".

The house's visual distinctness from others in this area of WGC implies a more considered approach. The Welwyn Garden City Conservation Area Appraisal document refers to this design approach as the building "designed as a whole" whose distinctiveness is part of the architectural language to be respected. It goes on to say that "The preservation of a conservation area's buildings depends upon being able to make correct judgements about their capacity to accommodate change. The residential areas of Welwyn Garden City are heavily dependent for their integrity on consistency of style, in groups, or within individual houses. Their external appearance invariably expresses the period in which they were created, and the design intentions of their authors." (Paragraph 105). We believe this document (DAS) demonstrates that the proposals maintain the original building's integrity and language, whilst preserving the conservation context of Brockswood Lane and WGC itself, in compliance with local (for e.g Policy R22 from the District Plan) and national (e.g. PPS5) planning policy. We also believe that it follows the LPA's requirement that all developments make a positive improvement to the quality of the built environment in the context of design.

Tree Survey.

This was discussed on 29-11-10 with the duty officer who stated that a full survey may not be needed to validate this application but would be assessed during the consultation period. As shown on the application drawings, there are a number of large mature trees on site but no trees within the affected vicinity of the proposals (nearest tree canopy approx 5m distant). Any trees nearby within the curtilage of the site will be protected during the course of construction as recommended by best practice (arboricultural) guidelines and the builders of the proposals will be contractually obligated to protect (by the use of appropriate fencing to the full canopy spread), and prevent damage or interference by carrying out work or storing of materials or operating construction traffic in close proximity. If further information is required (such as a tree survey or method statements by qualified arboriculturalists) this could be conditioned after relevant appraisal by the LPA. All existing natural landscaping features will be preserved. Please also refer to previous application reference N6/2009/0716/TE for work to the existing trees for the same site approved and carried out in 2009/10.

Relevant planning policy:

Welwyn Hatfield District Plan, Supplementary Design Guidance. Policy D2 Character and Context. Development proposals should as a minimum maintain, and where possible enhance or improve that character of the existing area.... Paragraph 2.1 The positive features of a place and its people, contribute to the special character and sense of identity of that place. Paragraph 2.3That is not to say that new development must mirror the local character, rather that it must be sensitive to it....Paragraph 2.4new development responds to building forms of the existing buildings...Paragraph 2.6 ...WGC -a unique balance of formality and variety...

Welwyn Hatfield District Plan, Supplementary Design Guidance. Residential Design Guidance. Paragraph 5.2 (i) extensions should be designed to compliment and reflect the design and character of the dwelling and be subordinate in scale.

PPS1 "good design should contribute positively to making places better for people" (paragraph 34);

PPS1 Paragraph 38:

Local planning authorities should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles.

PPS3 "Local plans and policies should be aimed at creating places, streets and spaces which meet the needs of people; which are attractive, have their own distinct identity and positively improve local character" (paragraph 34a).

PPS5 (Planning for the Historic Environment)

- To conserve England's heritage assets in a manner appropriate to their significance by ensuring that:

- Decisions are based on the nature, extent and level of their significance, investigated to a degree proportionate to the importance of the heritage asset.

PPS5, Policy HE3.1...taking into account the variations in type and distribution of heritage asset, as well as the contribution made by the historic environment by virtue of:

(i) its influence on the character of the environment and an area's sense of place.

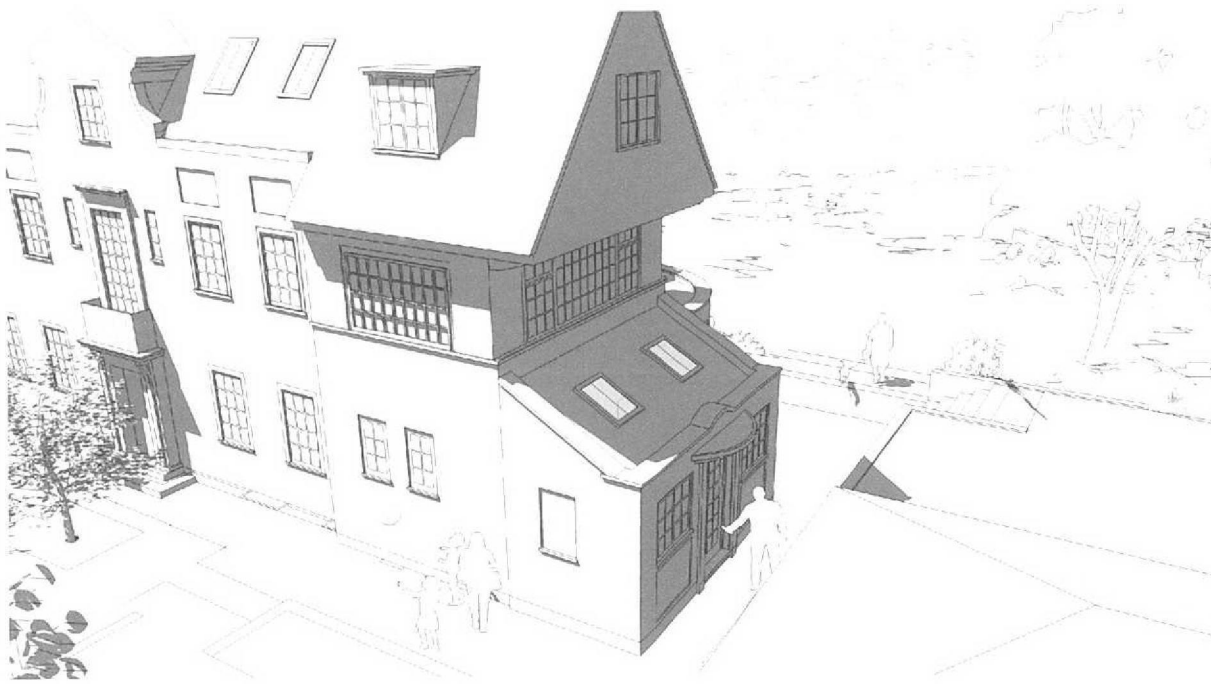
PPS5, Policy HE10.1 When considering applications for development that affect the setting of a heritage asset, local planning authorities should treat favourably applications that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset.

(Now superseded but relevant) PPG15 "...buildings do not have to copy their older neighbours in detail. Some of the most interesting streets include a variety of building styles, materials and forms of construction, of many different periods, but together forming a harmonious group" (paragraph 2.14)

6. Access & Inclusive Design

As part of an integrated design approach, access and inclusivity is considered at all stages of the design process. In addition to those features or facilities that already exist for the property, the proposals will include:

- Enhanced space standards;
- Improved access routes from the house to the garden;
- Separate ground floor WC & shower;
- All the new elements of work will be designed to comply with the relevant legislation where appropriate to avoid exclusion.



3D study model study showing the proposals with new "back door" access to & from the gardens



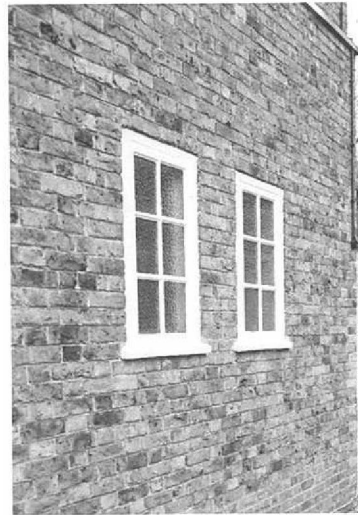
Example of existing lead roofing & flashings



Example of existing parapet coping stone



Example of existing joinery details



Example of existing brickwork



Example of conservation rooflight

7. Scheme Details and Materials

Materials for the proposals have been carefully considered and selected on the basis of their contextual response (whether they complement or fit in with the location, or other materials used on the site or in the area); performance criteria; environmental credentials; and appearance over time.

Utility Extension.

Roof: Fully supported lead roof finish with lead clad wood roll joints, all to match the existing.

Rooflights: Conservation rooflight.

Parapets: Stone copings to match existing, with lead work flashings.

Walls: Facing brick to match the existing.

Joinery (Doors/Windows): White painted timber, mullioned to match the proportion and detail of the existing.

Rear Entrance Canopy: White painted timber fascia, soffit & adjacent pilaster detail, lead flashed weathering to top.

Rain water goods: Black cast iron to match existing.

Dining Extension.

Roof: High performance EPDM roof membrane, with gravel ballast.

Rooflights: Glazed rooflight.

Parapets: Stone copings to match existing.

Walls: Facing brick to match the existing.

Joinery (Doors/Windows): White painted timber, mullioned to match the proportion and detail of the existing.

Rain water goods: Black cast iron to match existing.

Existing Roof.

Rooflights: Conservation rooflight.

All construction details will be carefully considered and fully designed to best practice standards to ensure a robust and elegant finish.

8. Summary

The scheme responds to the owners requirements for a high quality extension to their home, and we believe our proposals are sympathetic to their context, contributing in a positive way to the character of the site.

We also believe this document (DAS) and the submitted drawings and images show that the proposals are of the high quality required by the policies stated in the District Plan and Planning Policy Statements, and that they demonstrate respect and consideration for the character and context of the area in the design.

If there are any issues that could delay or prevent planning consent, we would like the opportunity to respond in a positive way to discuss, amend, or seek to further justify, the design proposals to the Local Planning Authority.

9. Appendix

Reduced size copies of the relevant scheme drawings shown on the following pages.

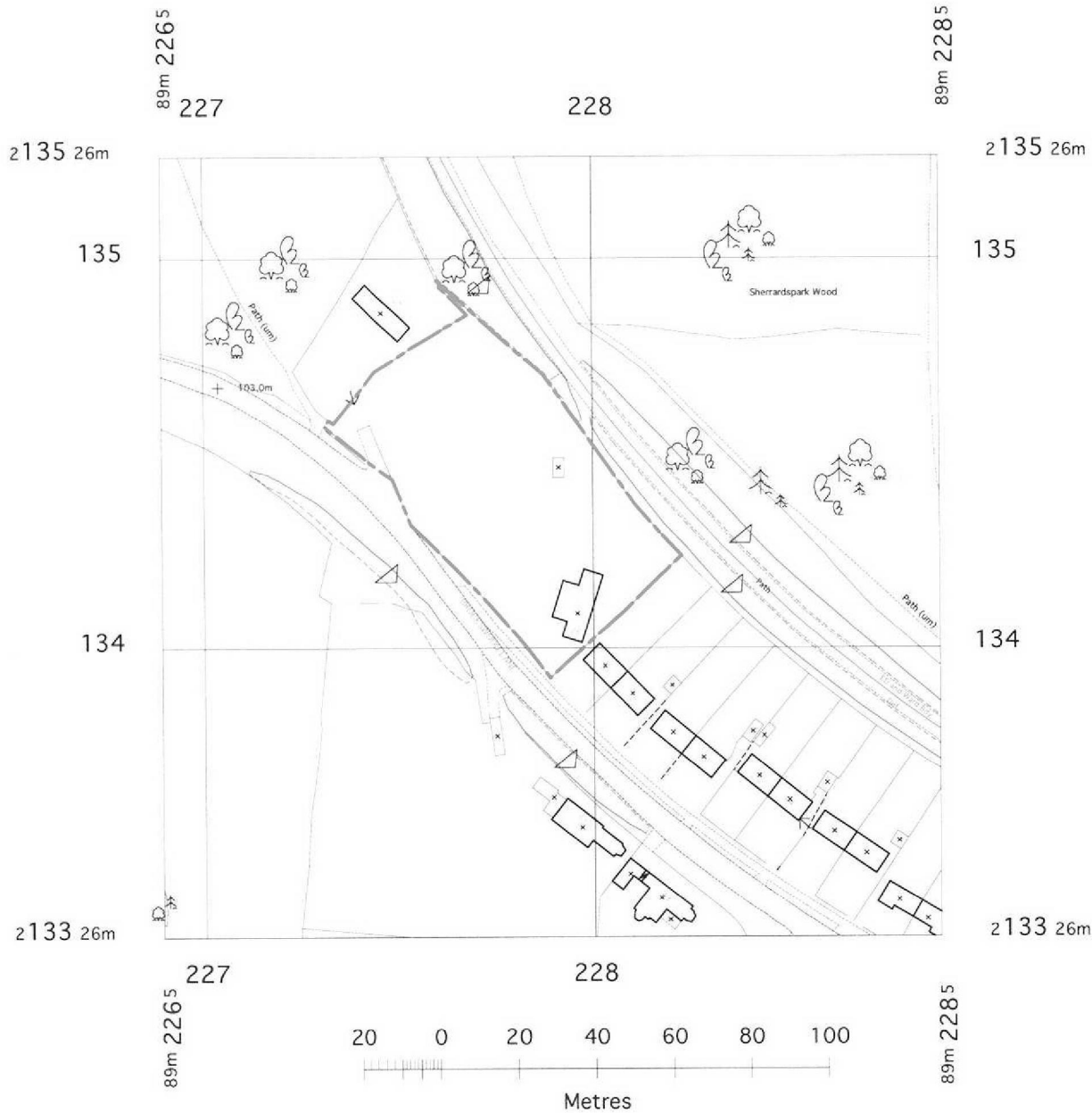


Typical section through existing house and proposed dining area extension

NOTES:

PROPERTY / SITE BOUNDARY OUTLINED IN RED.

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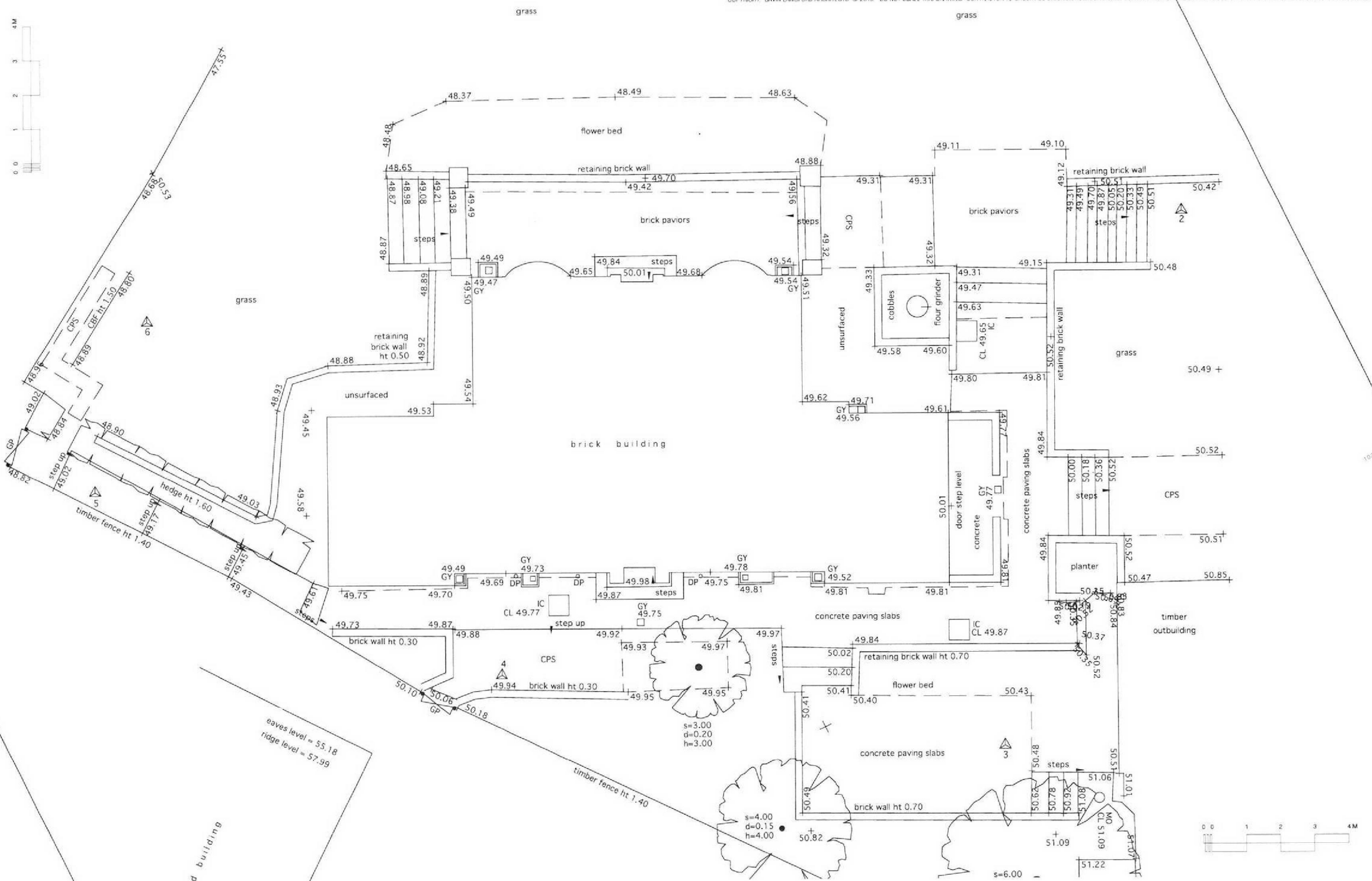
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Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	OS Data



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Scale:	Date:
1:1250 @ A3	2010-04-14
Drawing No.	Revision No.
1003/001	0



NOTES / REVISIONS:

EXTRACTS FROM MEASURED SURVEY CARRIED OUT BY CSL SURVEYS

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Extract of Existing Site Plan (Topo Survey)

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Drawing No.	Revision No.
1003/003	0

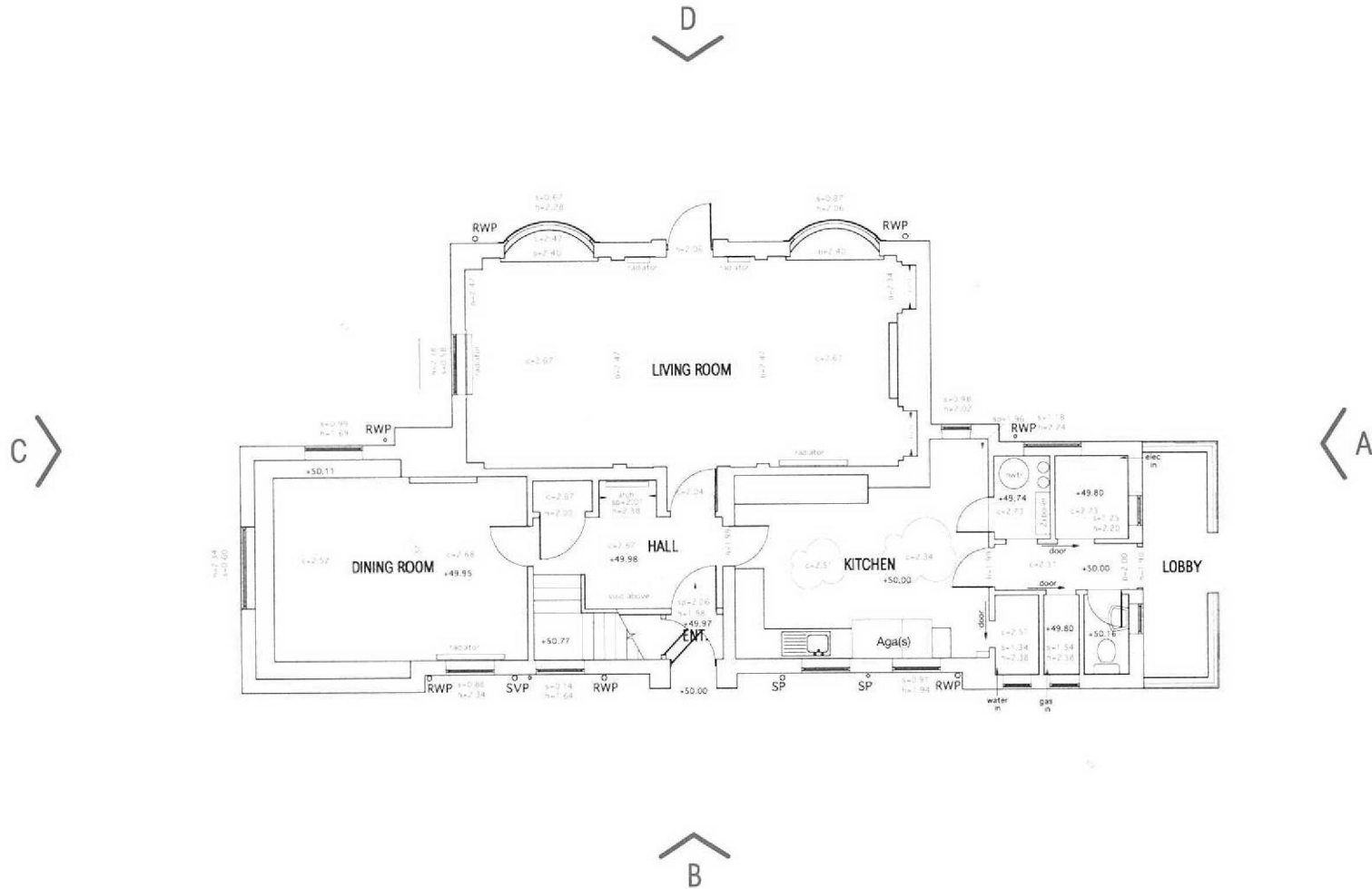
NOTES:

EXISTING GROUND FLOOR AREAS:

GROSS EXTERNAL FLOOR AREA = 137 sq.m (1,475 sq.ft)

GROSS INTERNAL FLOOR AREA = 116 sq.m (1,249 sq.ft)

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NOTES / REVISIONS

EXTRACTS FROM MEASURED SURVEY CARRIED OUT BY CSL SURVEYS

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Existing Ground Floor Plan

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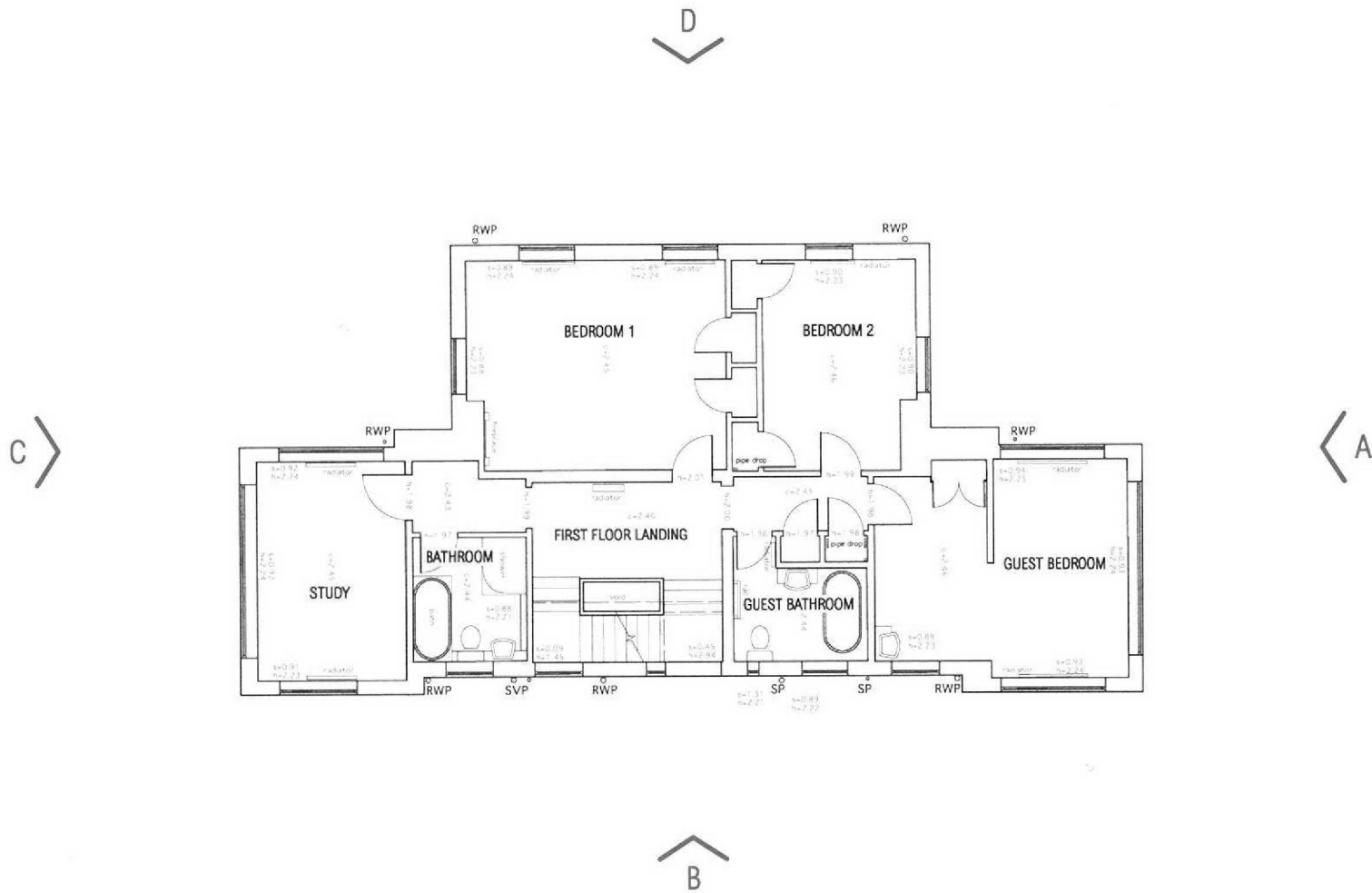
NOTES:

EXISTING FIRST FLOOR AREAS:

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GROSS INTERNAL FLOOR AREA = 109 sq.m (1,173 sq.ft)

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NOTES / REVISIONS:

EXTRACTS FROM MEASURED SURVEY CARRIED OUT BY CSL SURVEYS

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Existing First Floor Plan

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Drawing No.	Revision No.
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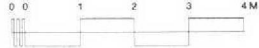
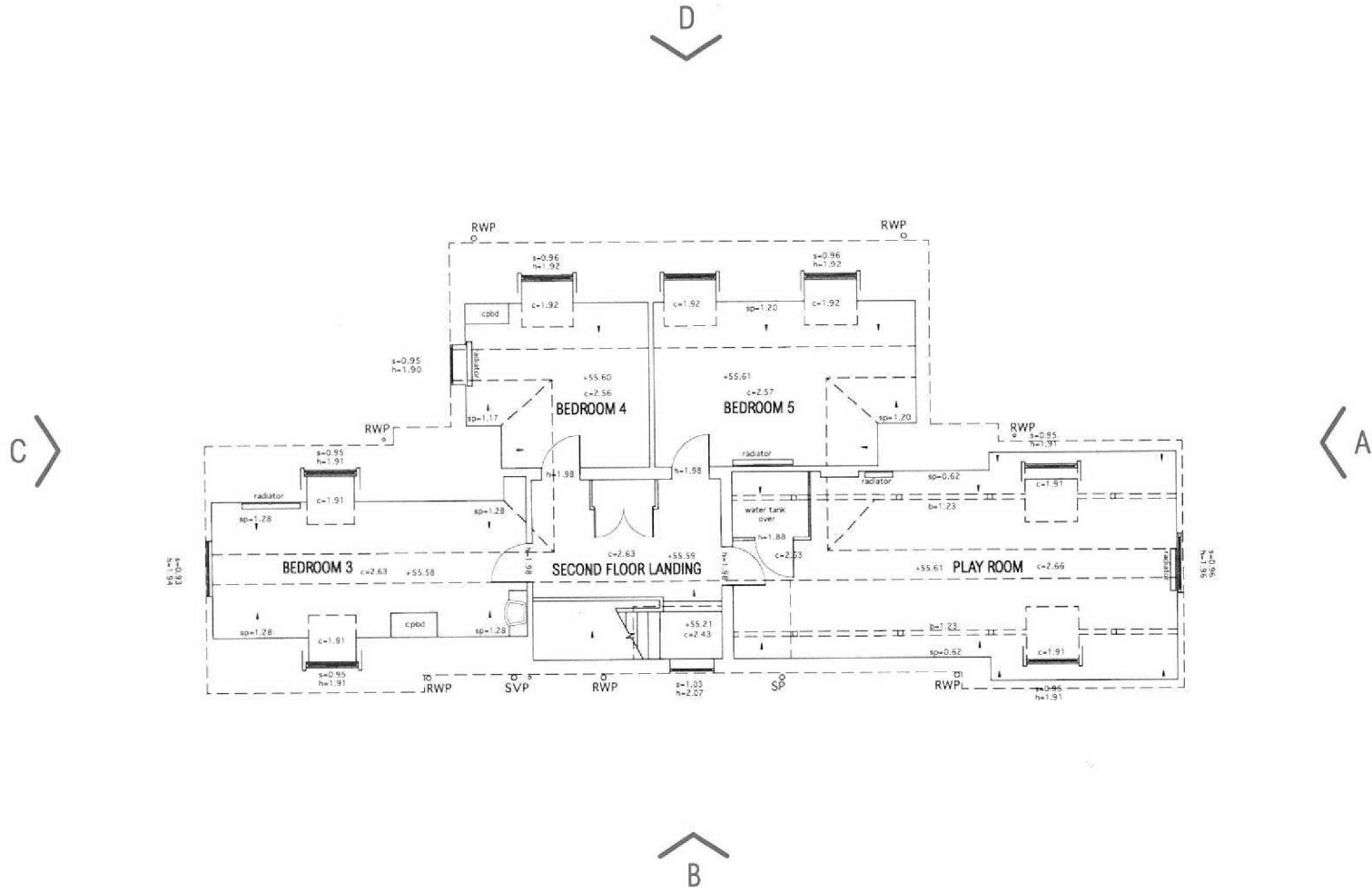
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EXISTING SECOND FLOOR AREAS:

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GROSS INTERNAL FLOOR AREA = 100 sq.m (1,076 sq.ft)

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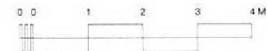
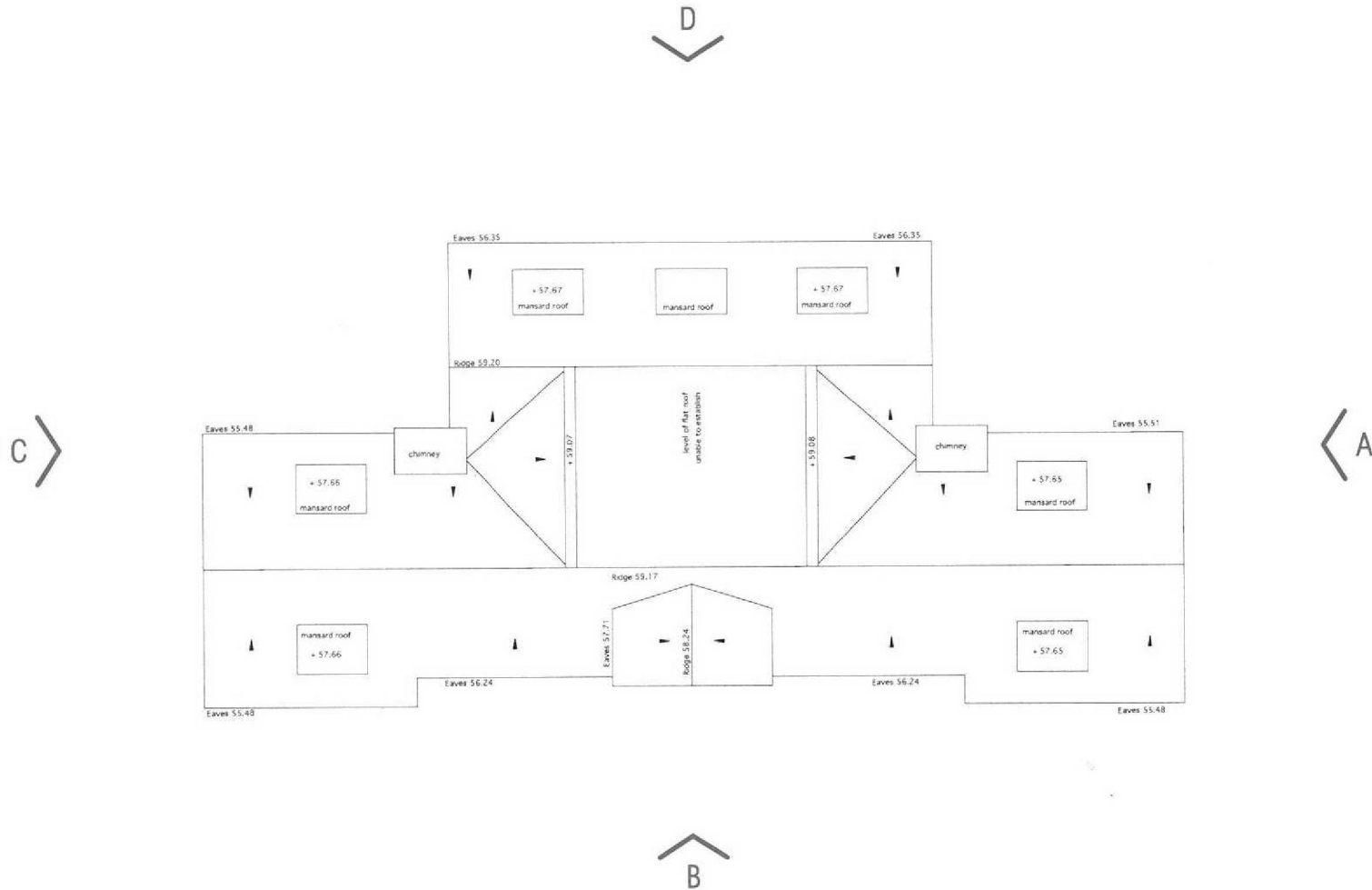
NOTES / REVISIONS

EXTRACTS FROM MEASURED SURVEY CARRIED OUT BY CSL SURVEYS

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Existing Second Floor Plan

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NOTES / REVISIONS:

EXTRACTS FROM MEASURED SURVEY CARRIED OUT BY CSL SURVEYS

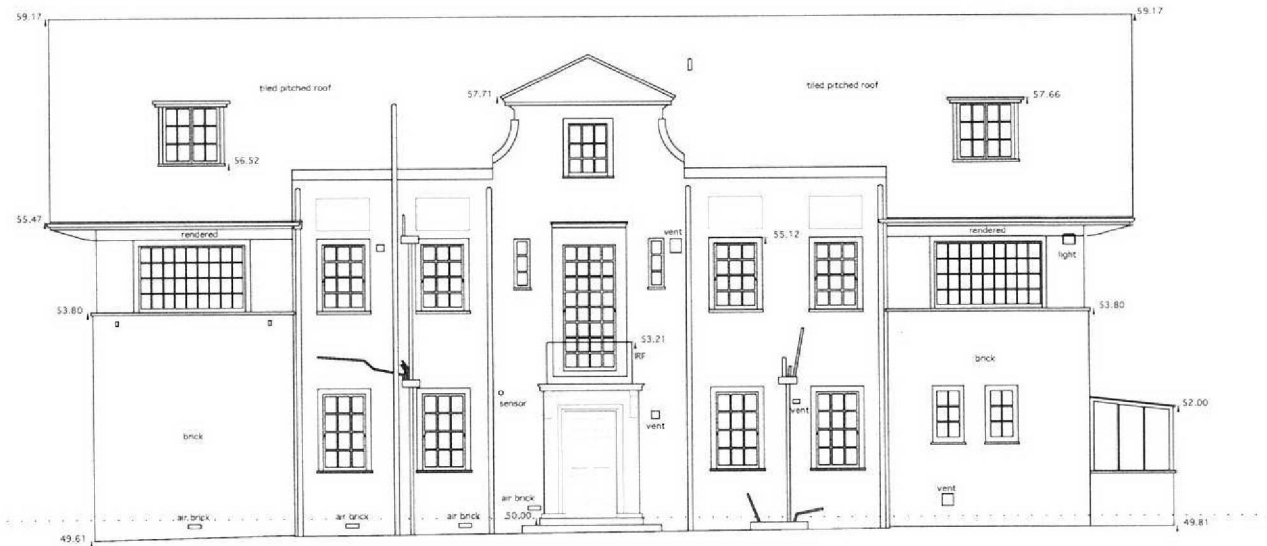
Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Existing Roof Plan

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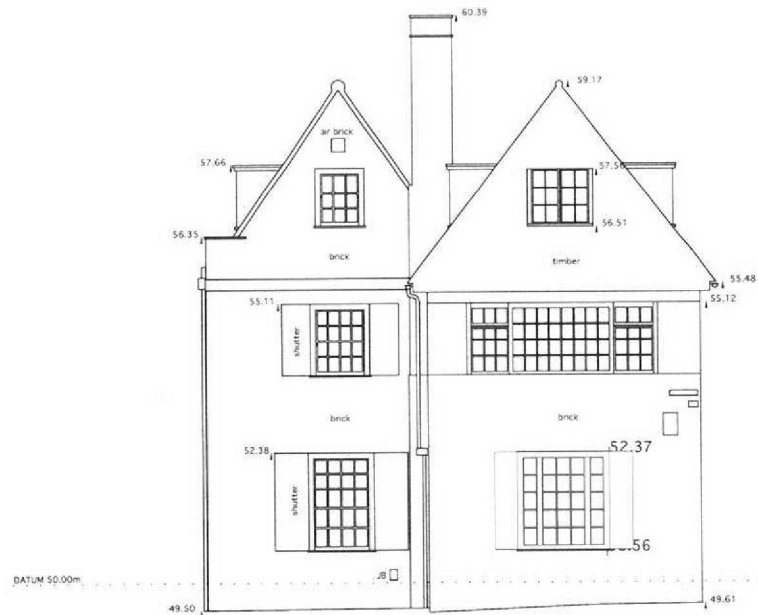
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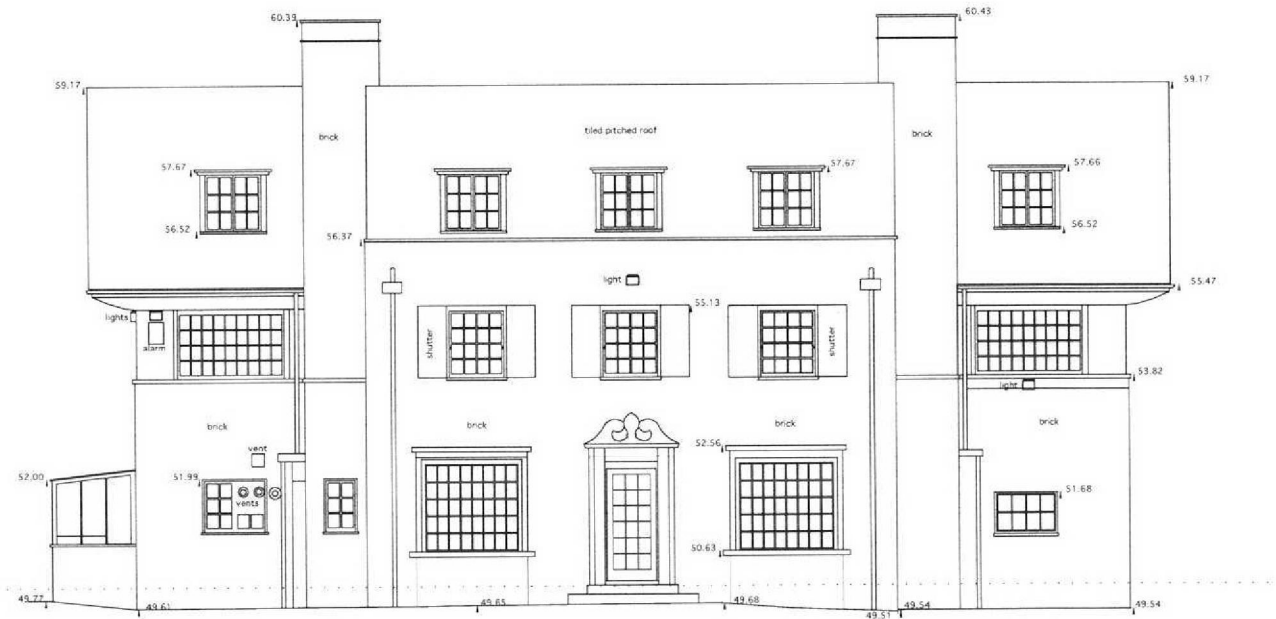
Elevation A



Elevation B



Elevation C



Elevation D

NOTES / REVISIONS:

EXTRACTS FROM MEASURED SURVEY CARRIED OUT BY CSL SURVEYS

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Existing Elevations

gavin langford architects
0 8 7 0 7 2 0 2 9 6 4
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Scale:	Date:
1:100 @ A3	2010-08-02
Drawing No:	Revision No:
1003/008	0

NOTES:

PROPERTY / SITE BOUNDARY OUTLINED IN RED.

EXTENT OF TOPOGRAPHICAL SURVEY SHOWN AS DASHED GREY LINE (OTHER FEATURE LOCATIONS ARE APPROXIMATE)

SITE AREA (Approx.) = 4068sq.m (1.005 Acre)

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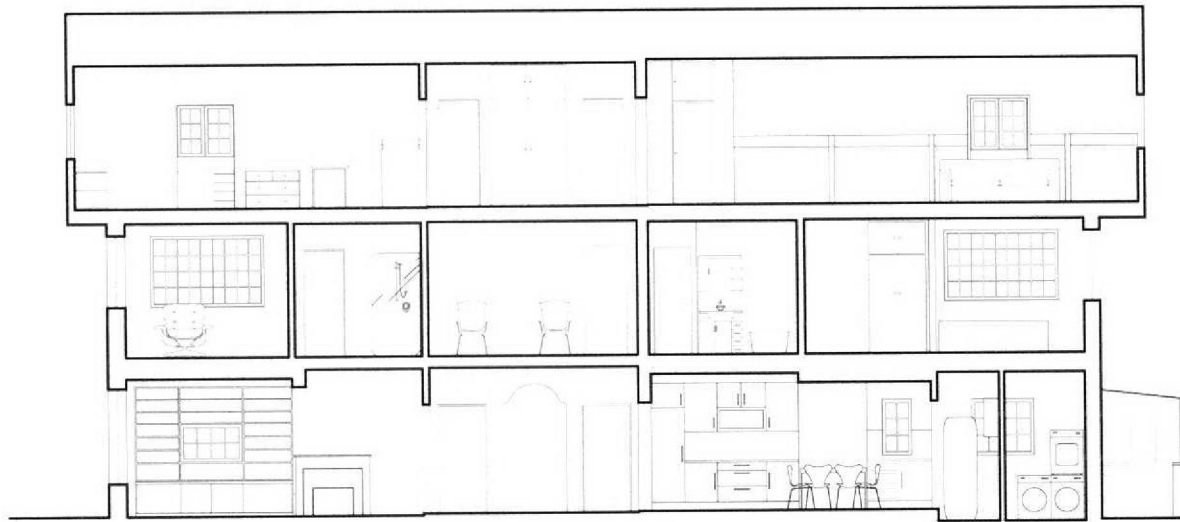
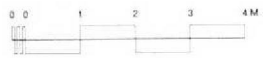


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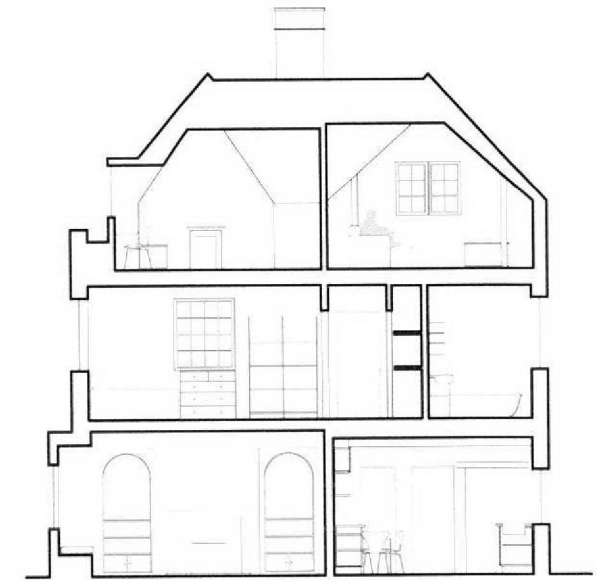
Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockswood Lane
Drawing Title:	Site Plan (Topographical extract & OS)

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Scale:	Date:
1:500 @ A3	2010-04-14
Drawing No:	Revision No:
1003/009	0



Typical Long Section Through Existing House



Typical Short Section Through Existing House



NOTES / REVISIONS:

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Existing Sections

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Scale:	Date:
1:100 @ A3	2010-08-02
Drawing No.	Revision No.
1003/010	0



North Corner of Existing House Showing Adjacent Terrace & Edge of Poolhouse



North Corner of Existing House - Proposed Location for Extension



Garden Facing Elevation - Curved Window Bay Detail



West Elevation of Existing House - View from Brockwood Lane



South, Street Facing, Elevation of Existing House - View from Brockwood Lane

NOTES / REVISIONS:
1: 2010-12-10, TLH PHOTO UPDATED

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Photos of Existing

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Scale:	Date:
"Photos" NTS @ A3	2010-10-02
Drawing No.	Revision No.
1003/012	1

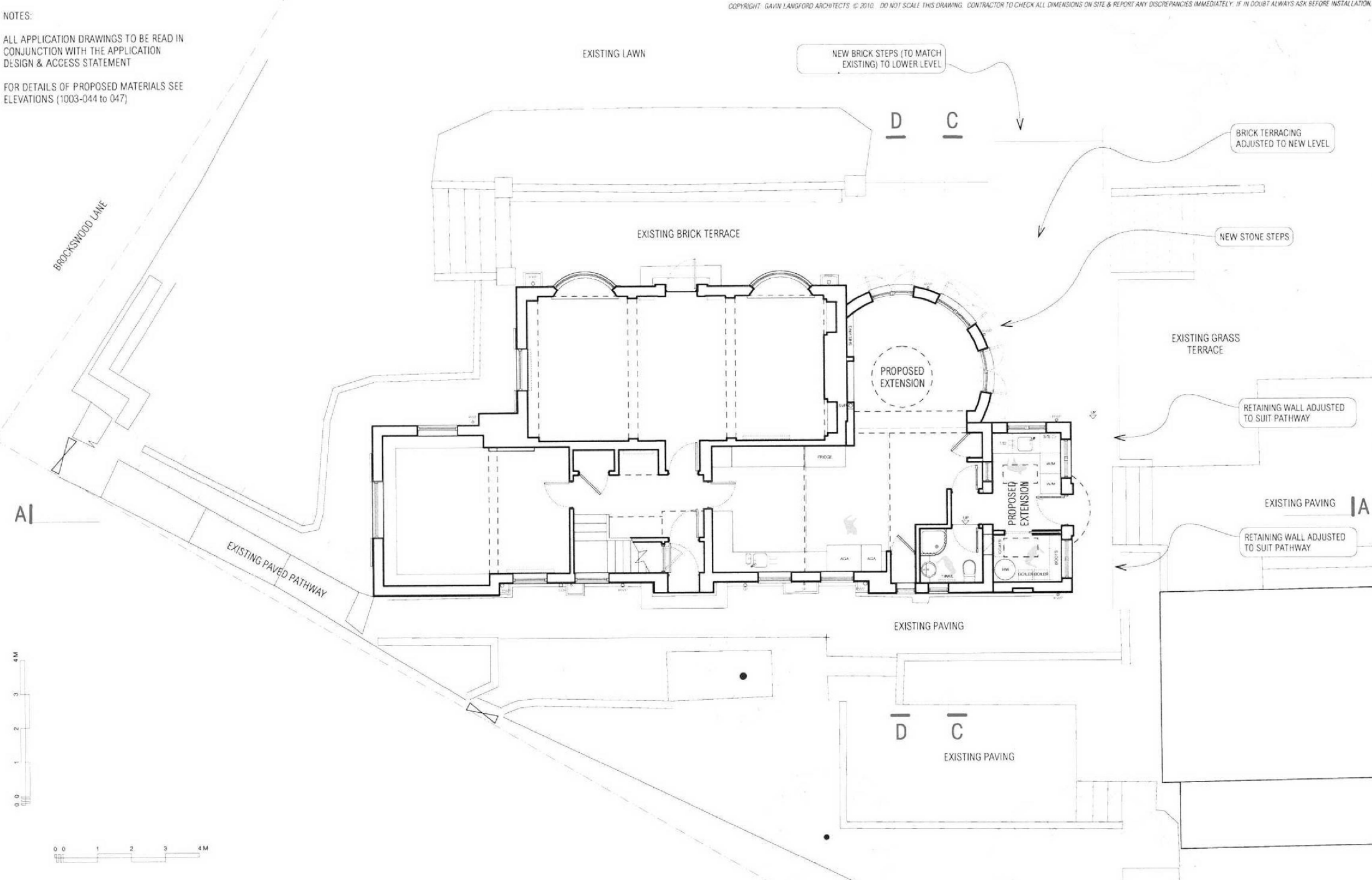


NOTES:

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FOR DETAILS OF PROPOSED MATERIALS SEE ELEVATIONS (1003-044 to 047)

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NOTES / REVISIONS
0. 2010-12-15. PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Ground Floor Plans

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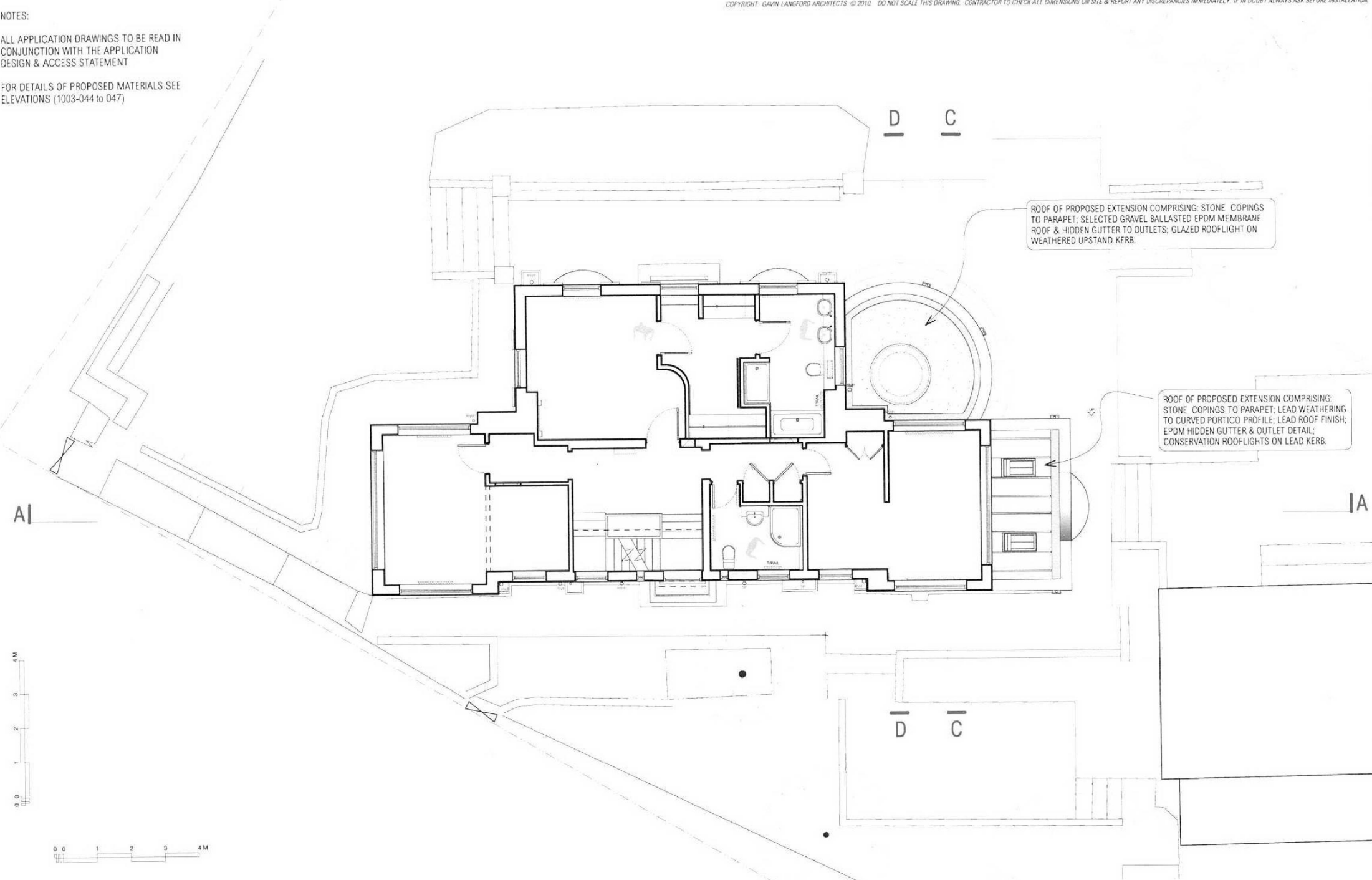
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Drawing No:	Revision No.
1003/040	0

NOTES:

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FOR DETAILS OF PROPOSED MATERIALS SEE ELEVATIONS (1003-044 to 047)

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NOTES / REVISIONS:
0: 2010-12-15: PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed First Floor Plans

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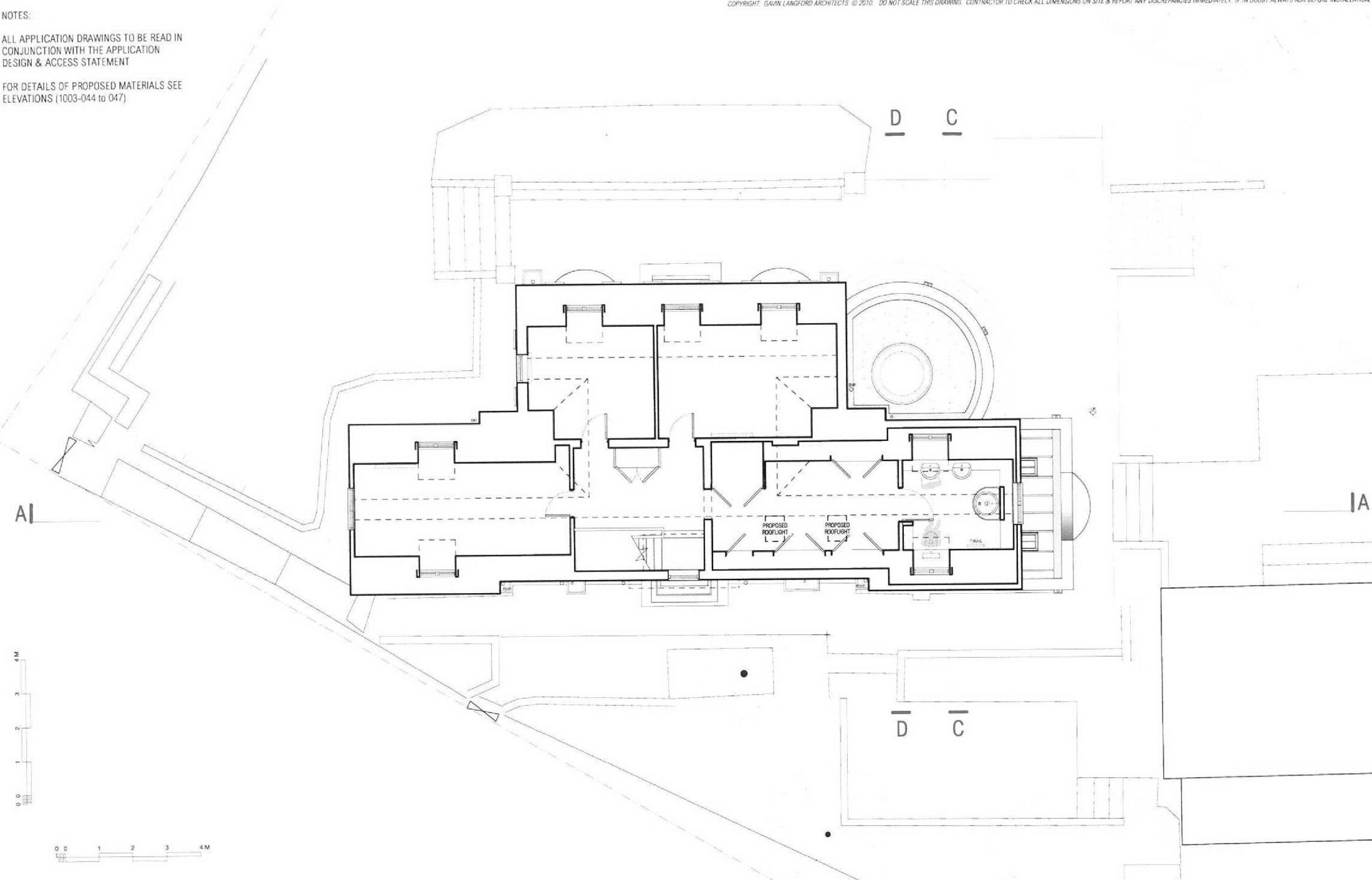
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Drawing No.	Revision No.
1003/041	0

NOTES:

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FOR DETAILS OF PROPOSED MATERIALS SEE ELEVATIONS (1003-044 to 047)

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NOTES / REVISIONS
0: 2010-12-15. PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Second Floor Plans

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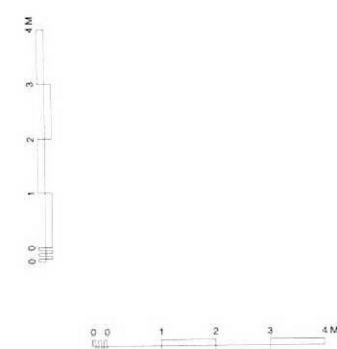
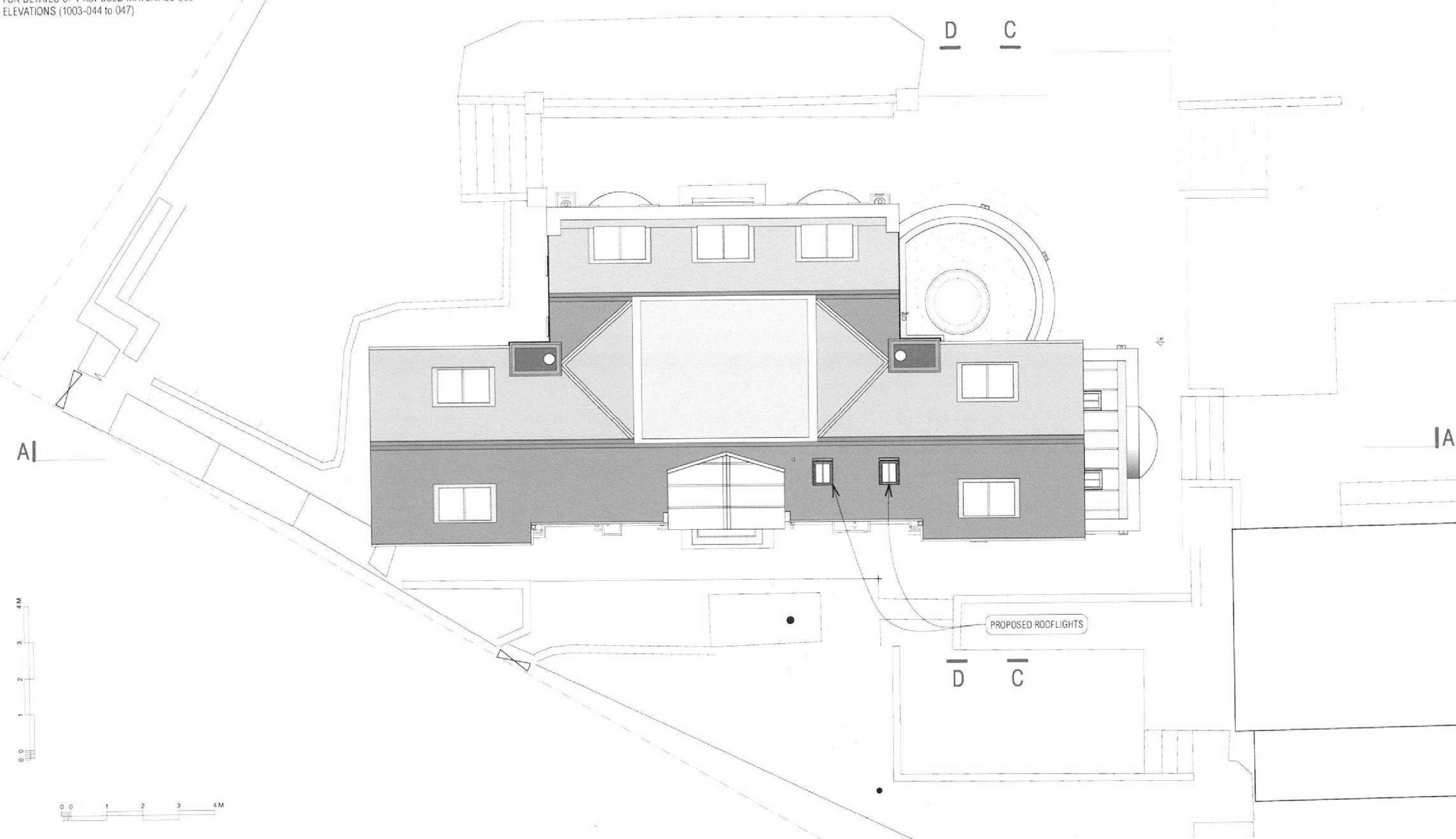
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Drawing No.	Revision No.
1003/042	0

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ELEVATIONS (1003-044 to 047)

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NOTES / REVISIONS:
0: 2010-12-15: PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Roof Plans

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Scale:	Date:
1:100 @ A3	2010-12-01
Drawing No:	Revision No:
1003/043	0

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EXISTING ROOF FINISHES
(HOLLOW CLAY PANTILE)

EXISTING BRICK PANEL RECESS

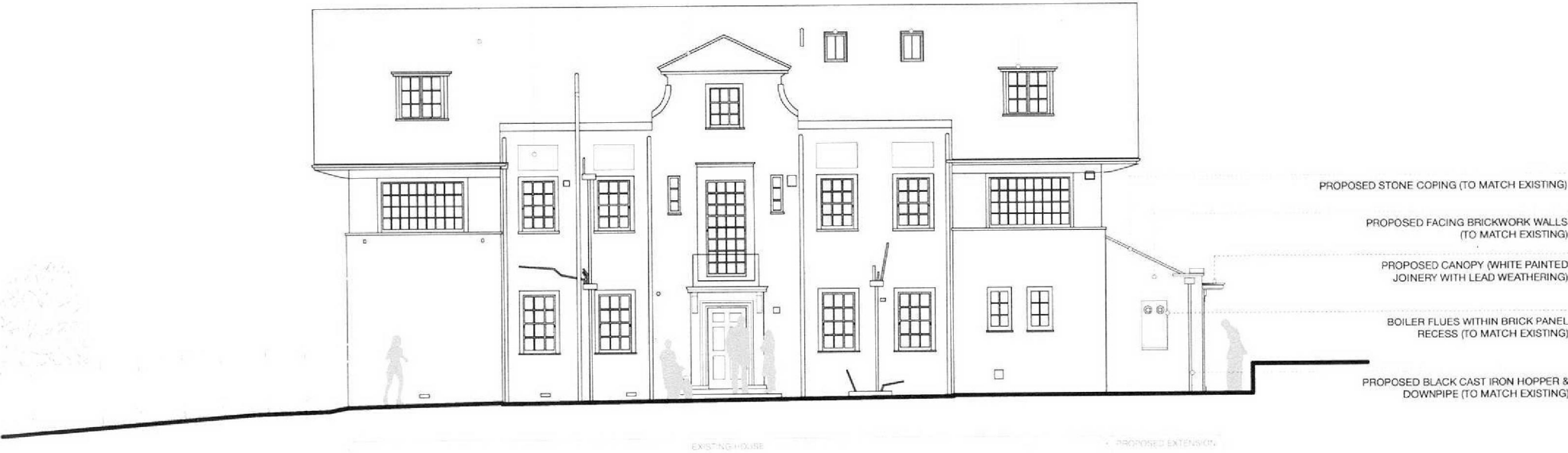
EXISTING DOWNPIPE (BLACK
PAINTED CAST IRON)

EXISTING ROOF FINISHES (LEAD)

PROPOSED NEW ROOFLIGHT
(CONSERVATION)

PROPOSED NEW ROOFLIGHT
(CONSERVATION)

EXISTING ROOF DORMER
(LEAD FINISHES)



Rear Elevation Facing East (towards neighbouring house)

NOTES / REVISIONS
0: 2010-12-15: PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Elevations (1)

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0 1 2 2 3 8 4 7 2 0 0

Scale:	Date:
1:100 @ A3	2010-12-01
Drawing No.	Revision No.
1003/044	0

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End Elevation Facing South (towards Brockwood Lane)

NOTES / REVISIONS:
0. 2010-12-15. PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Elevations (2)

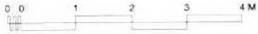
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Scale:	Date:
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Drawing No:	Revision No:
1003/045	0

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EXISTING ROOF FINISHES
(HOLLOW CLAY PANTILE)

EXISTING ROOF DORMER
(LEAD FINISHES)

EXISTING PARAPET COPING
(STONE COPING)

EXISTING CURVED WINDOW BAY
(BRICKWORK, WHITE PAINTED
JOINERY, LEAD WEATHERING)

EXISTING RAINWATER
HOPPER & DOWNPIPE
(BLACK PAINTED CAST IRON)

EXISTING ROOF DORMER
(LEAD FINISHES)

PROPOSED STONE COPING (TO MATCH EXISTING)

PROPOSED FACING BRICKWORK (TO MATCH EXISTING)
PROPOSED BLACK CAST IRON HOPPER & DOWNPIPE
(TO MATCH EXISTING)

PROPOSED CANOPY (WHITE PAINTED
JOINERY WITH LEAD WEATHERING)

PROPOSED MULLIONED TIMBER
WINDOWS/TERRACE DOORS (TO
MATCH EXISTING)

PROPOSED BRICK PANEL RECESS
(TO MATCH EXISTING)

PROPOSED BRICK TERRACE ADJUSTED
TO SUIT NEW LEVEL



Front Elevation Facing West (towards garden)

NOTES / REVISIONS:
1. 2010-12-15: PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Elevations (3)

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Scale:	Date:
1:100 @ A3	2010-12-01
Drawing No.	Revision No.
1003/046	0

NOTES:

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0 0 1 2 3 4 M

0 0 1 2 3 4 M



End Elevation Facing North (towards poolhouse)

NOTES / REVISIONS:
0: 2010-12-15: PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Elevations (4)

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Scale:	Date:
1:100 @ A3	2010-12-01
Drawing No.	Revision No.
1003/047	0

NOTES:

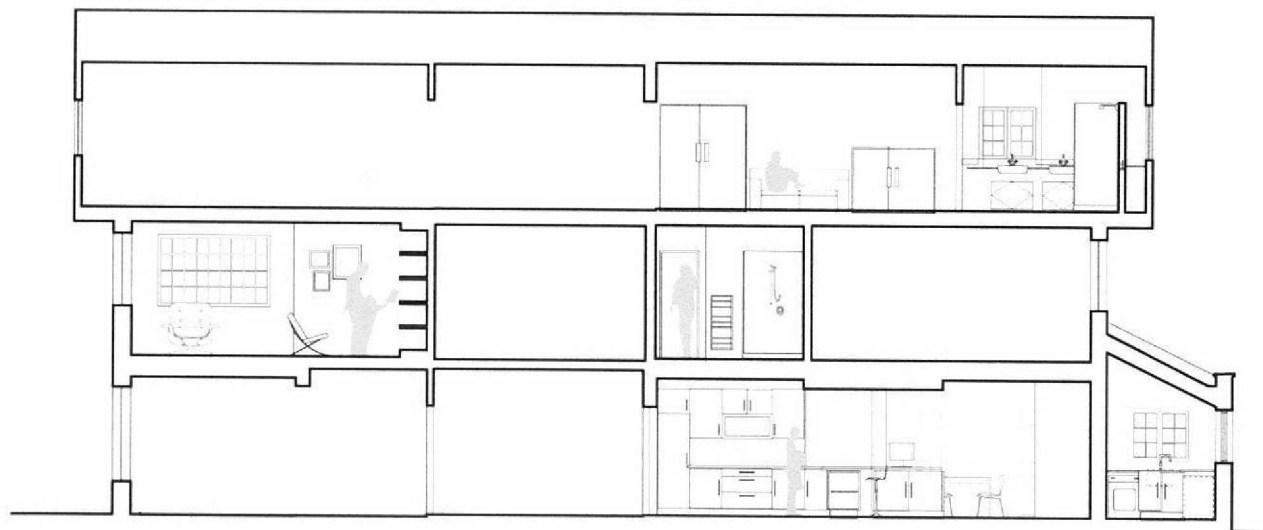
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EXISTING & PROPOSED FLOOR LEVELS ARE TO MATCH (SEE SURVEY OF EXISTING DRAWINGS FOR FURTHER LEVELS)

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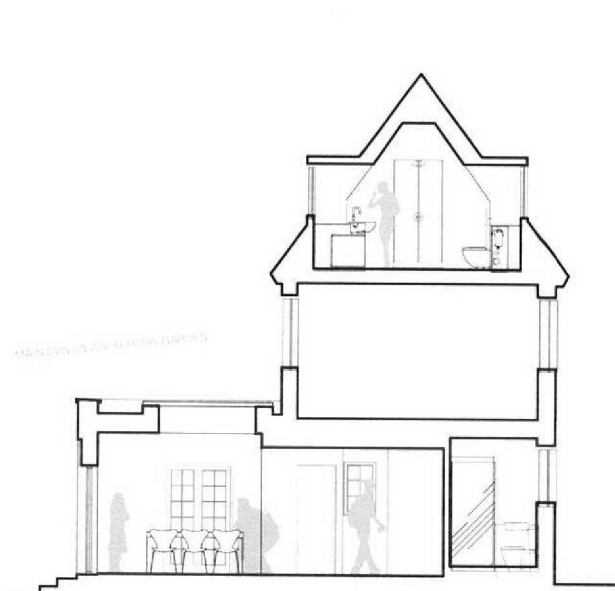
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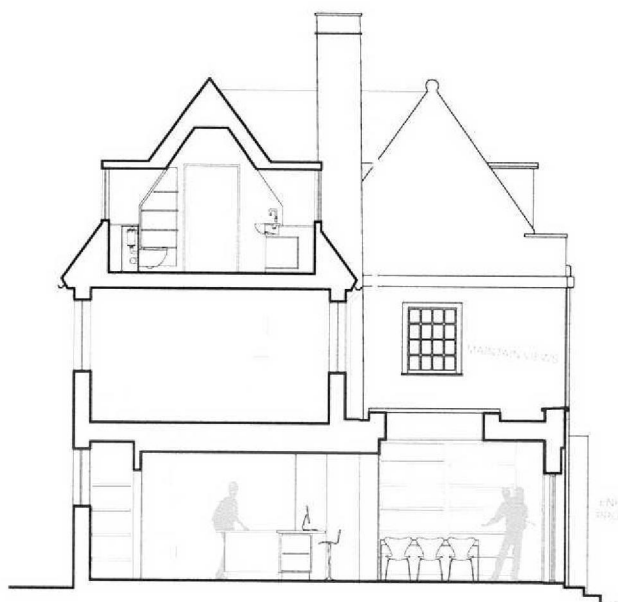


GROUND FLOOR (existing & proposed) 50.00

Section A-A



Section C-C



Section D-D

GROUND FLOOR (existing & proposed) 50.00

NOTES / REVISIONS:
0. 2010-12-15. PLANNING ISSUE

Client:	Stuart & Helen Pendell
Project:	Badgers End, 76 Brockwood Lane
Drawing Title:	Proposed Sections

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Scale:	Date:
1:100 @ A3	2010-12-01
Drawing No.	Revision No.
1003/048	0