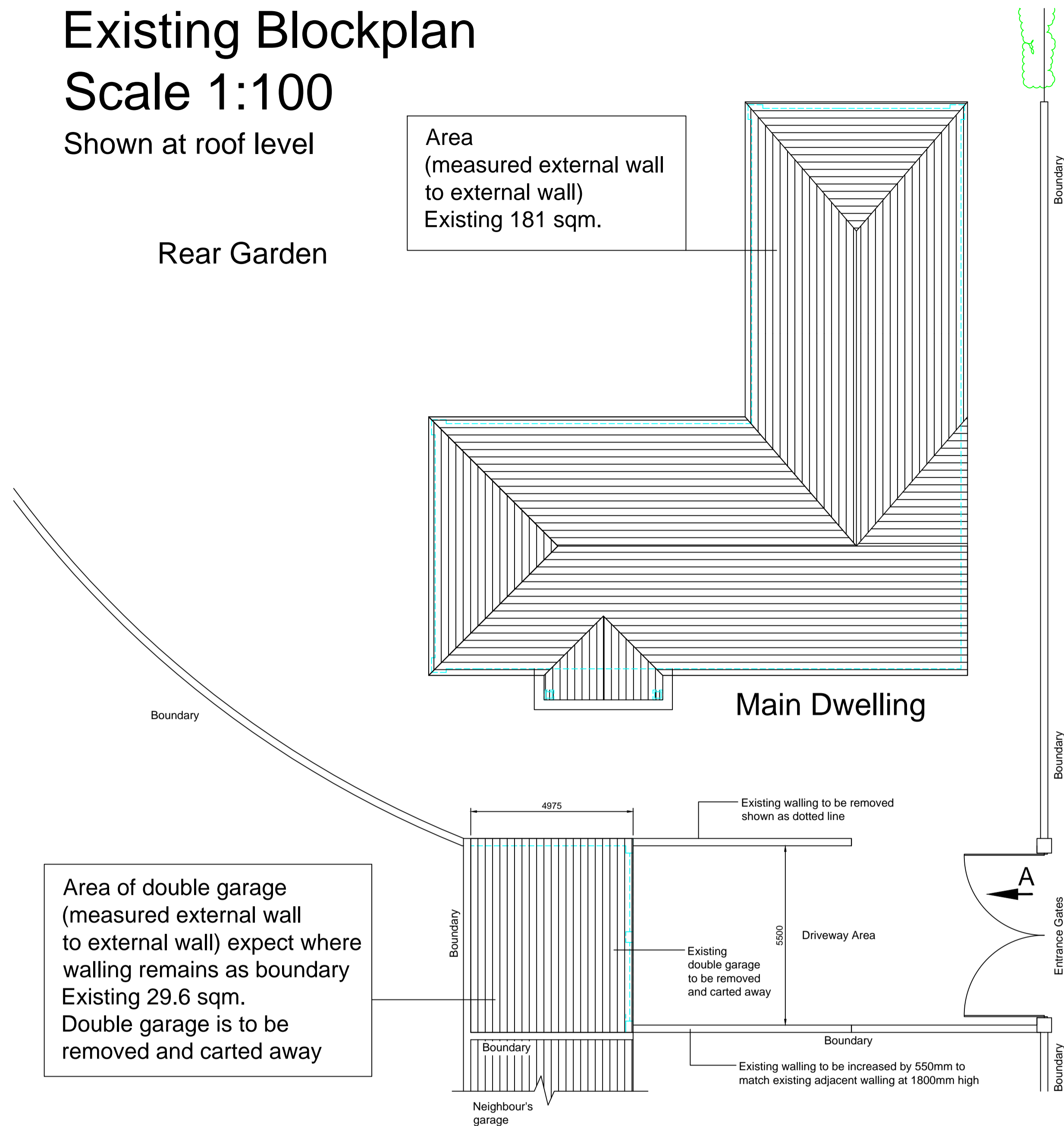


Existing Blockplan

Scale 1:100

Shown at roof level

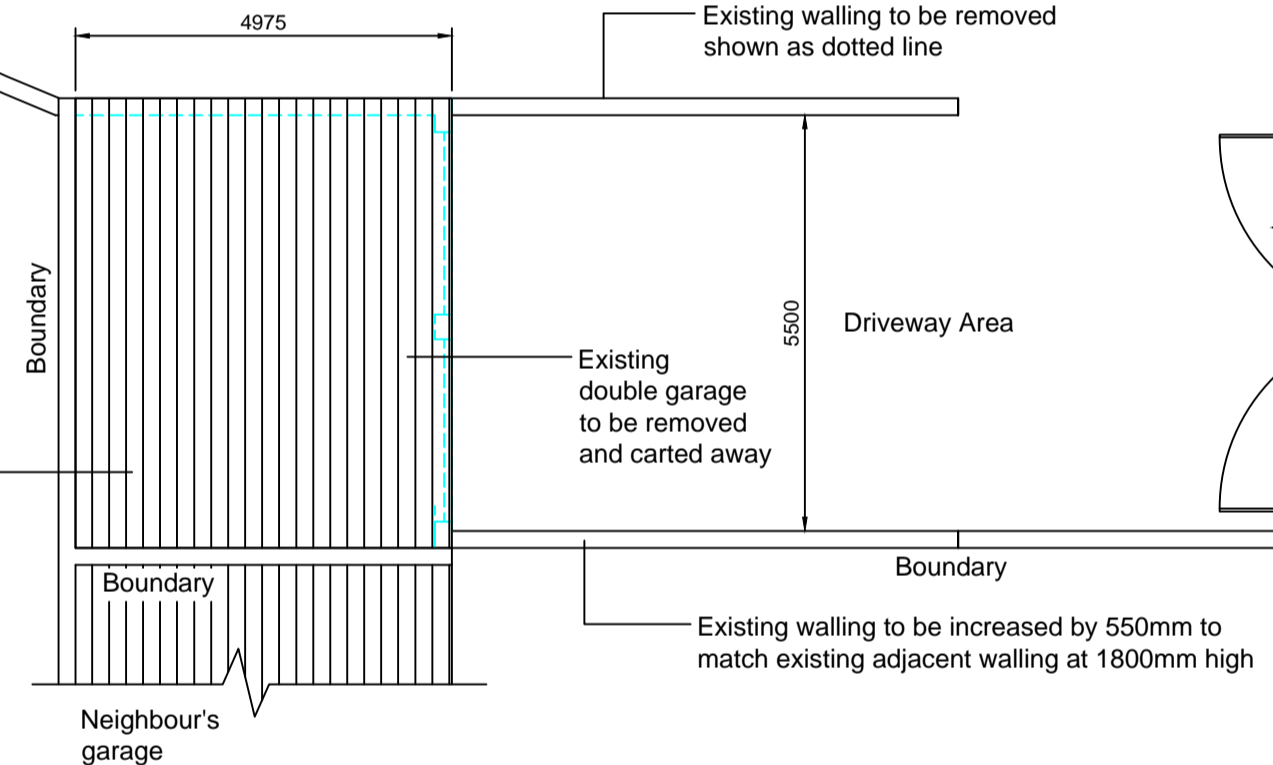


Area (measured external wall to external wall) Existing 181 sqm.

Rear Garden

Main Dwelling

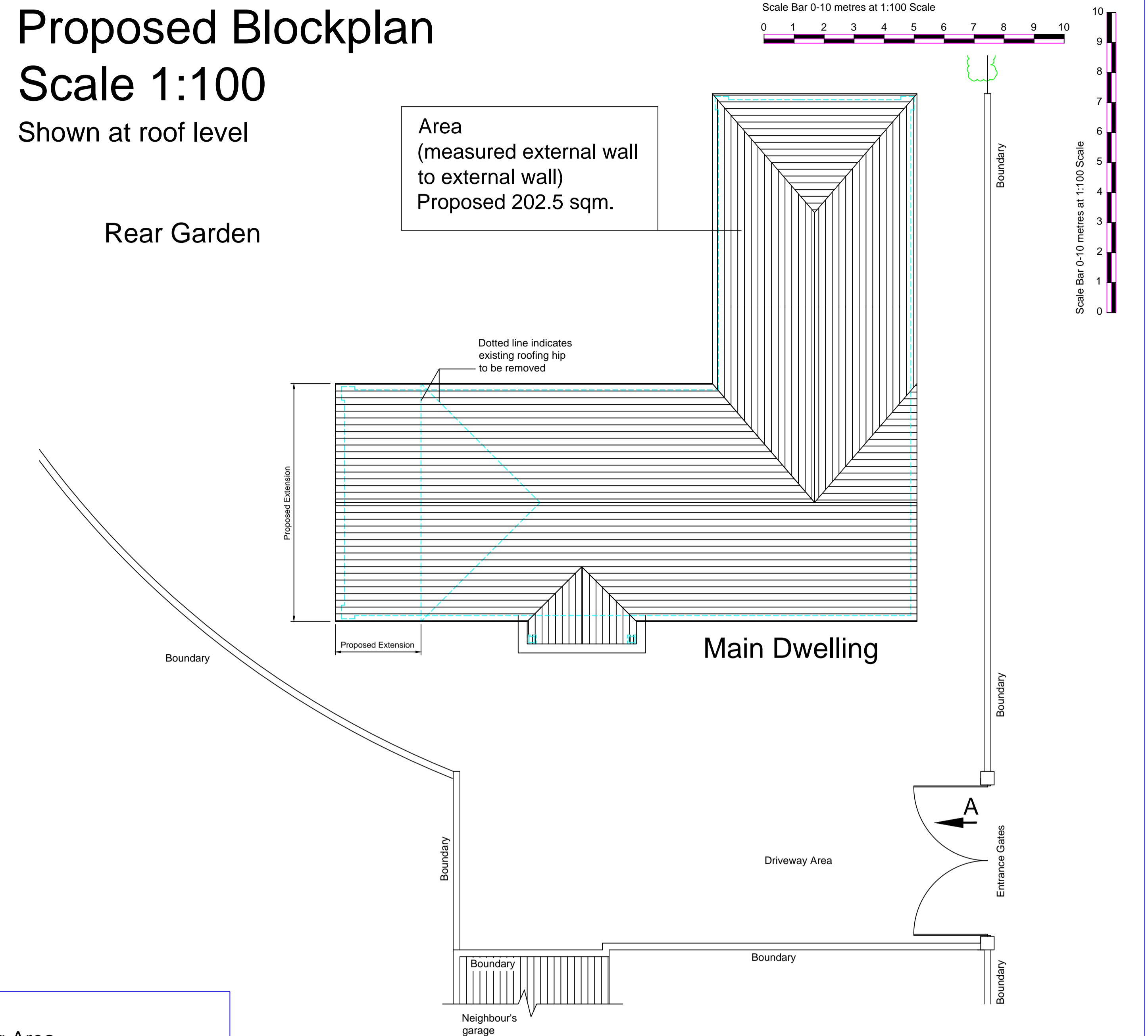
Area of double garage (measured external wall to external wall) expect where walling remains as boundary Existing 29.6 sqm. Double garage is to be removed and carted away



Proposed Blockplan

Scale 1:100

Shown at roof level

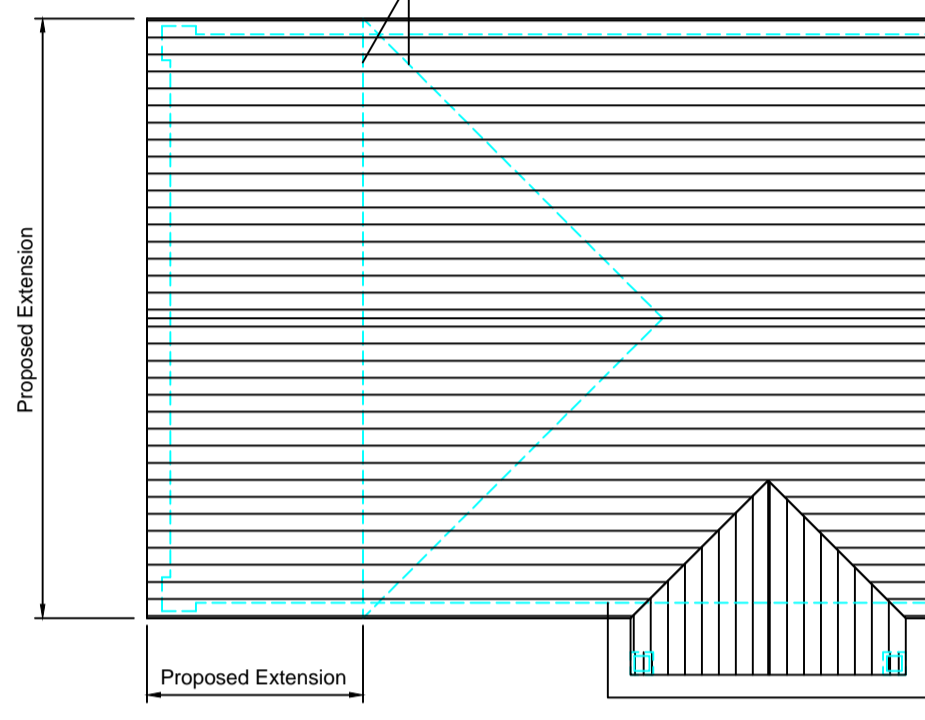


Area (measured external wall to external wall) Proposed 202.5 sqm.

Rear Garden

Main Dwelling

Dotted line indicates existing roofing hip to be removed



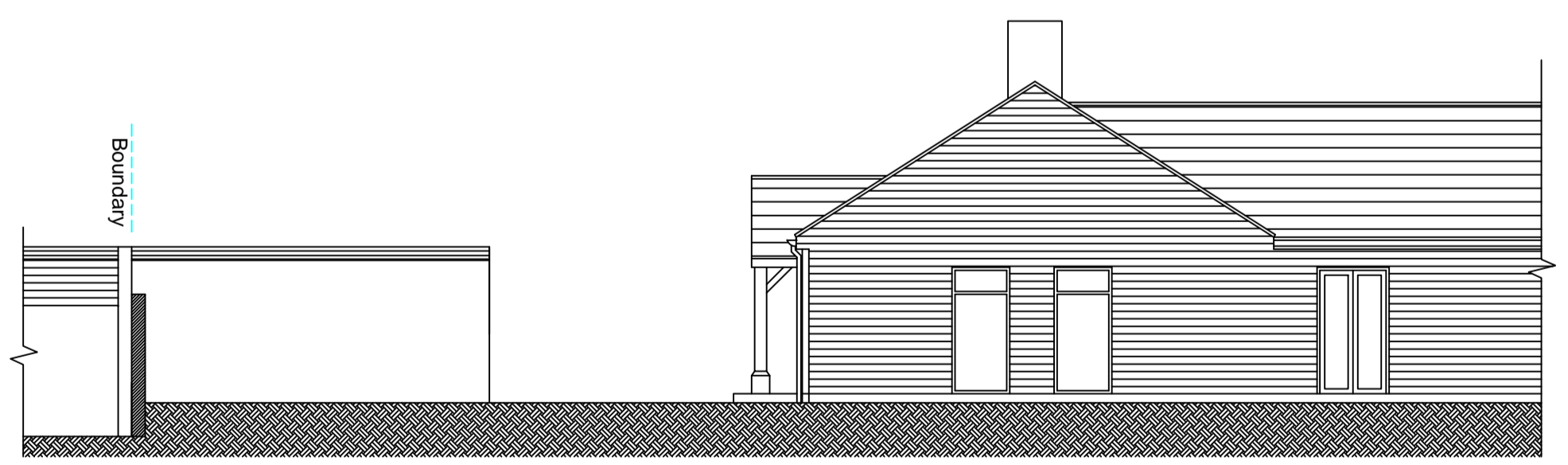
Schedule of Existing Area
Existing main dwelling 181 sqm.
Existing double garage 29.6 sqm.

Existing Total 210.6 sqm.

Schedule of Proposed Area
Removal of existing double garage (figure not included)
Proposed main dwelling Existing 181 sqm + Proposed 21.5 sqm

Proposed Total 202.5 sqm.

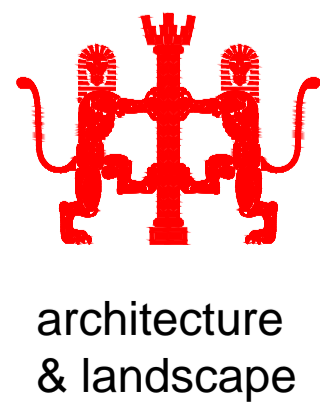
Note that measurements are measured external wall to external wall, expect where existing walling remains as boundary.



Proposed Part Elevational View on Arrow A
Scale 1:100



Existing Part Elevational View on Arrow A
Scale 1:100



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CLIENT Mr & Mrs Cumberland
LOCATION/PROJECT Stocks, Lysley Place, Brooksmans Park, Hatfield, Hertfordshire, AL9 6NZ
TITLE OF DRAWING Existing & Proposed Blockplan

DESCRIPTION OF PROPOSED WORKS Proposed Single Storey Extension to Existing Dwelling & Removal of Existing Double Garage
DRAWING STATUS For Planning Application

NOTES This drawing has been produced in support of a planning application or a building regulations submission and should not be used for any other purpose. Copyright. No part of this drawing or any other drawings, details, calculations or schedules pertaining to this project as titled (including any notes therein) may be produced in any form either in part or whole without the prior permission in writing of Kevin O'Callaghan, Architect. All dimensions are in millimeters. If in doubt ask. This drawing is not to be used for setting out. All sizes and dimensions to be checked on site prior to commencement and confirmed by the architect. This drawing is to be read in conjunction with all other relevant drawings and details. Party Walls. All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works. All cross over, build over agreements with utility companies to be agreed and approved prior to works on site.

Materials and workmanship must be of a standard conforming with the appropriate recognised authority. For example "National House Building Council", "British Standards Institution", "Department of the Environment - (Building regulations 1991)" etc.
Health and Safety The client, will be the/ or appoint a, Planning Supervisor to act on his behalf who will ensure that where applicable the "Construction (Design & Management) Regulations 1994" are adhered to, if required. The Contractor must at all times operate safe working practices, maintain the integrity of the existing structures, and conform to all the appropriate requirements of the health & Safety Executive including the "Construction (Health, Safety and Welfare) Regulations 1996". The working methods of any hazardous operations must first be discussed with the Planning Supervisor and the designer prior to commencement.

DATE Feb 2011 DRAWN BY K O'C
SCALE 1:100 REVISIONS
DRAWING NUMBER A1 SIZE DRAWING
PL-3000
Print Drawing at 1/50 For A1 size