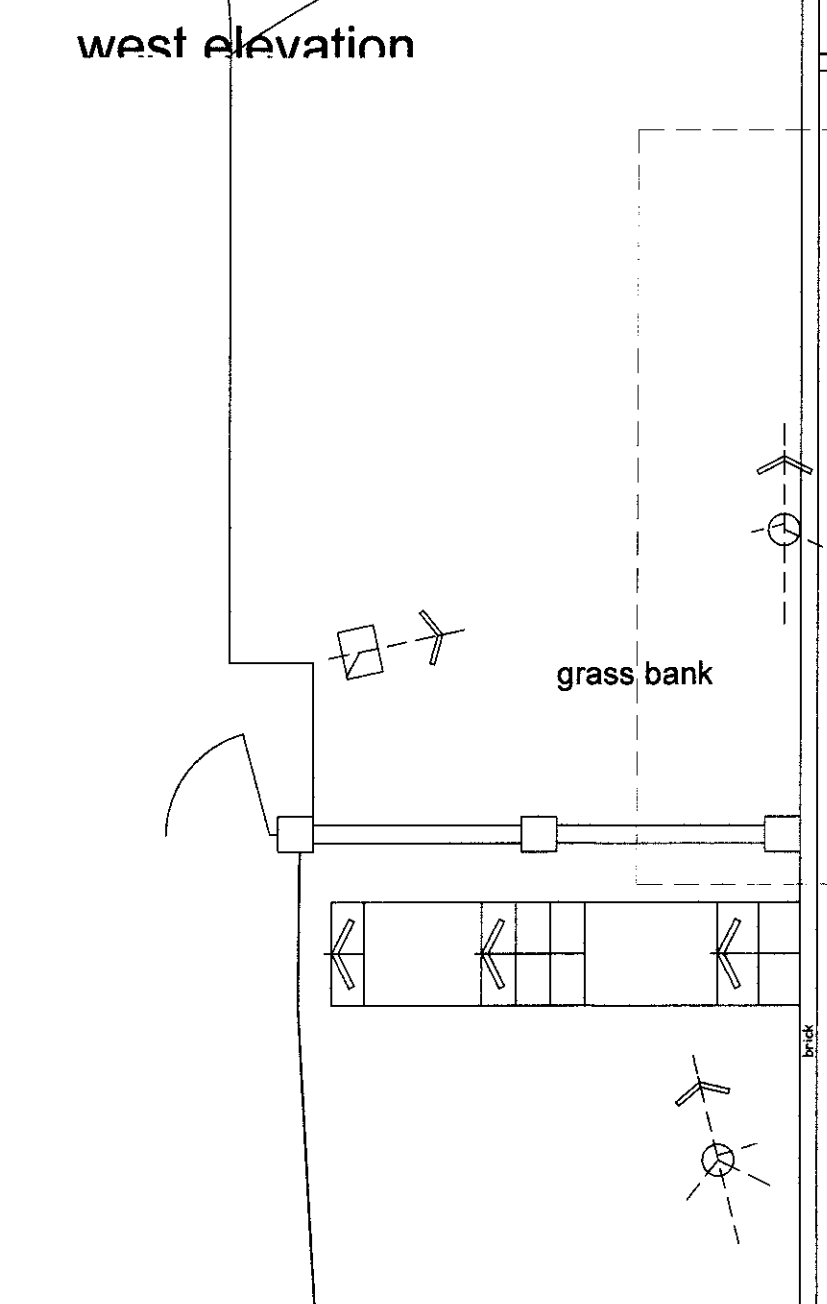




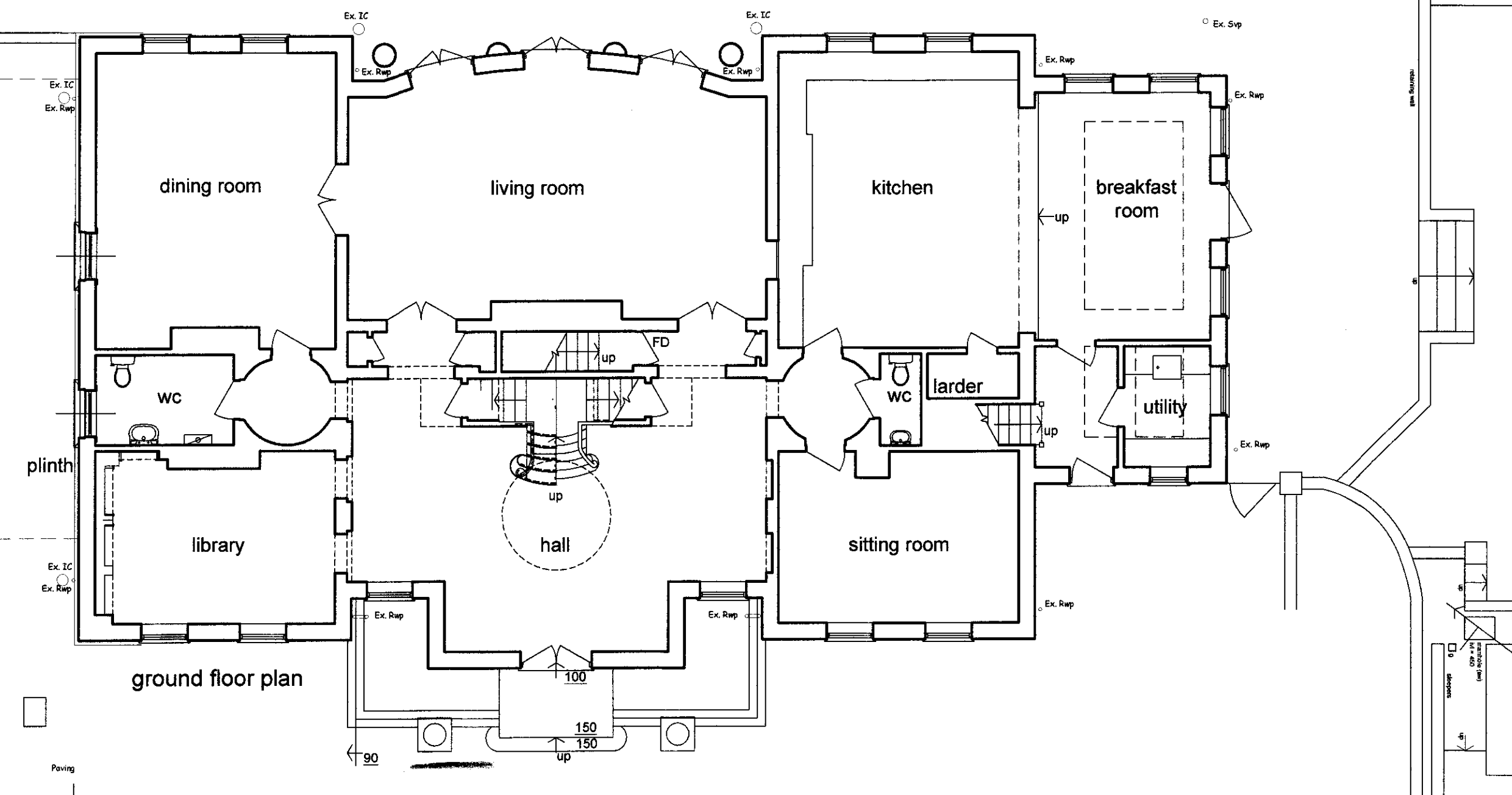
north elevation



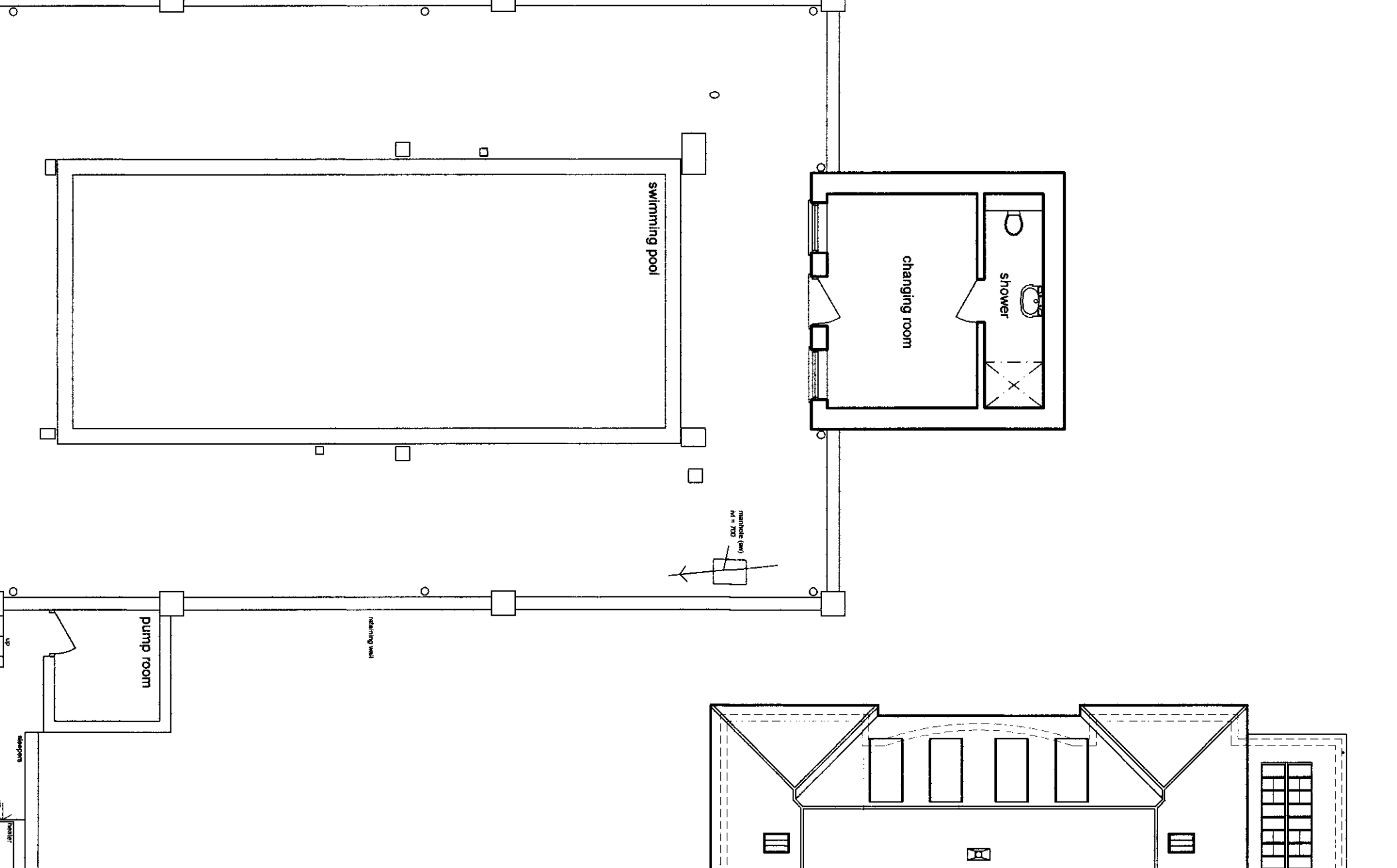
south elevation



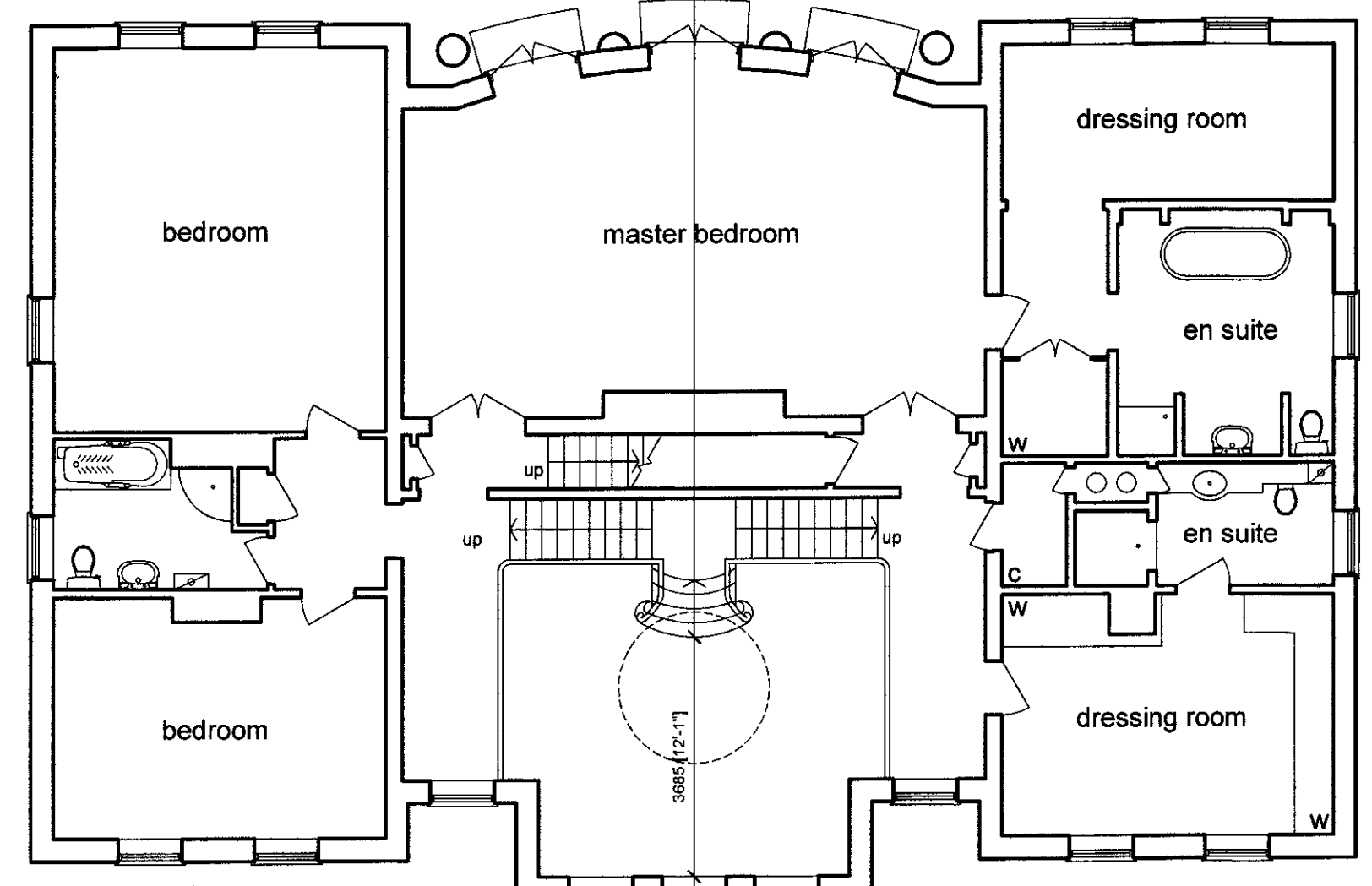
west elevation



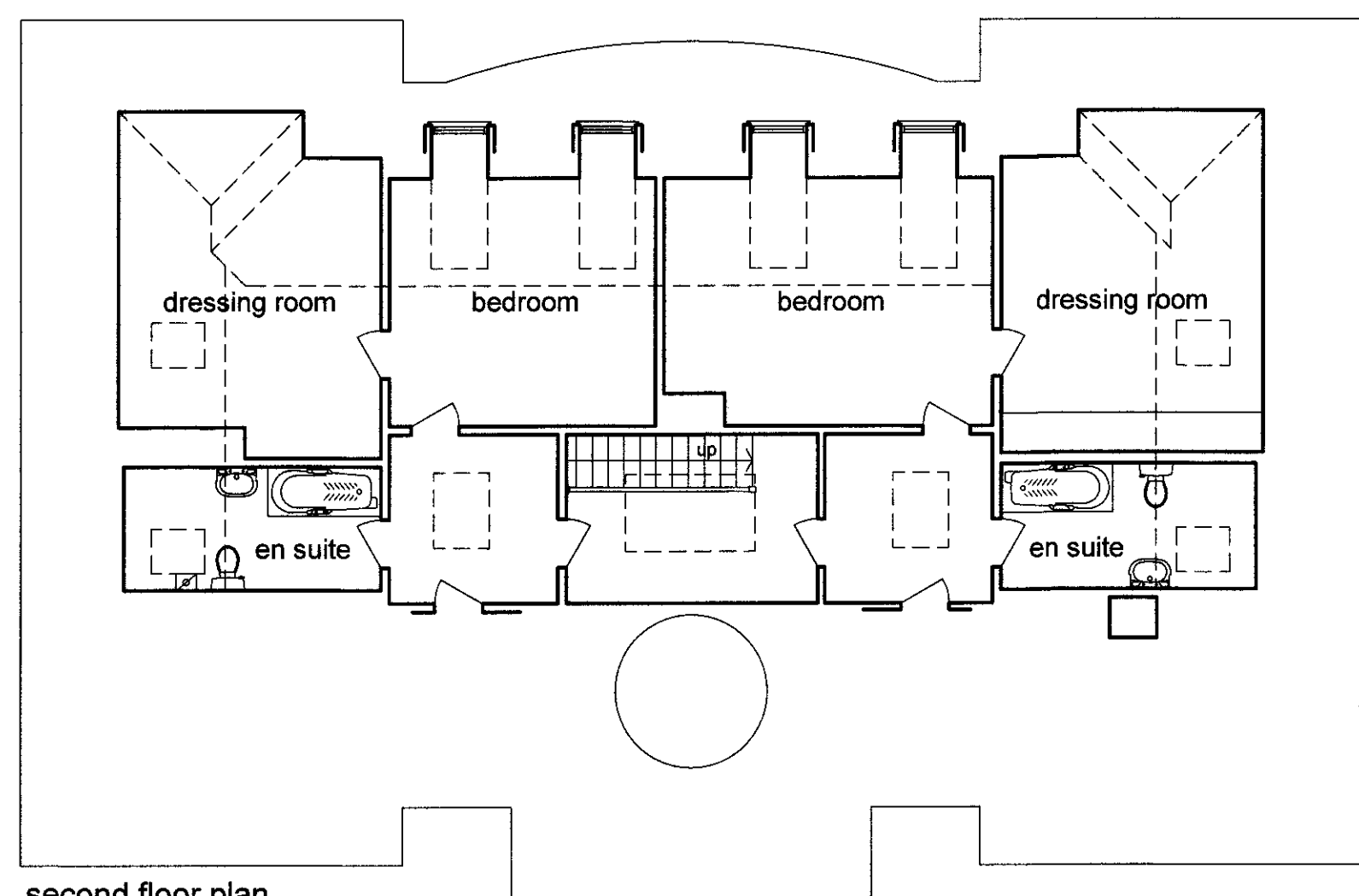
ground floor plan



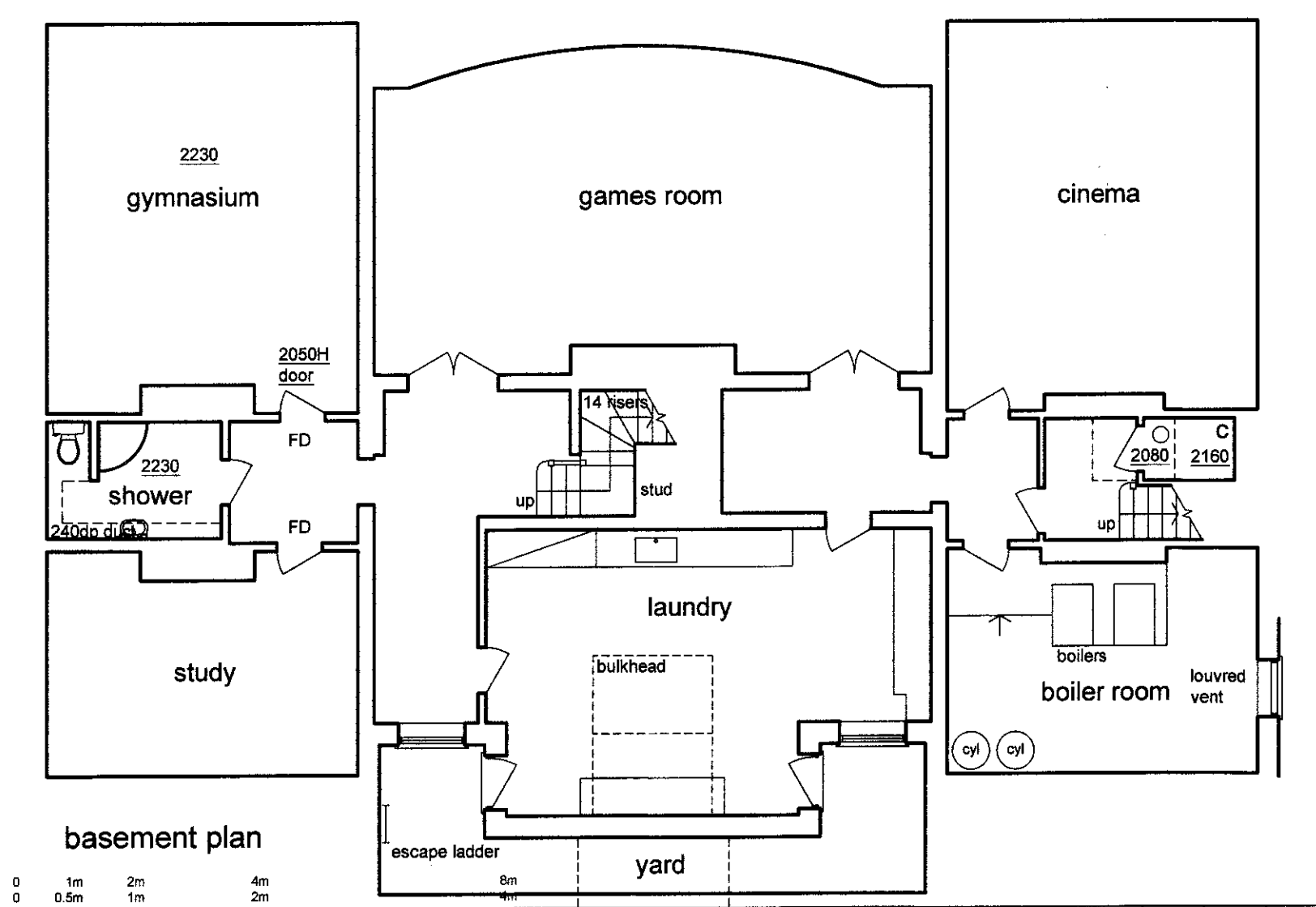
roof plan



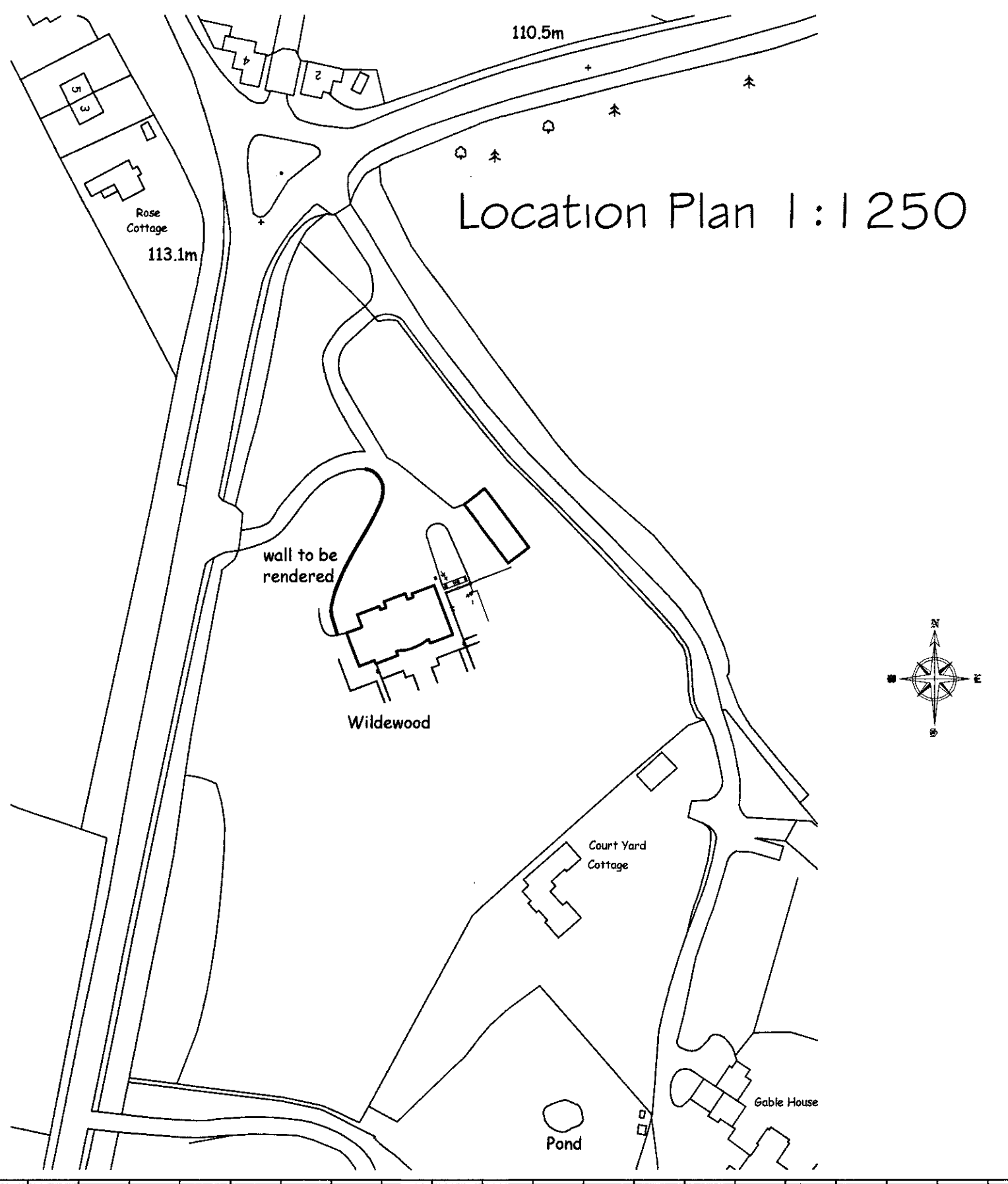
first floor plan



second floor plan



basement plan



Location Plan 1:1250

notes:
 any discrepancies should be reported immediately
 all dimensions should be checked on site prior to commencement of work
 site/survey based on ordnance survey information provided by prodart systems plc. (www.prodart.co.uk) prodart does not guarantee that all past or current uses or features will be identified in the product
 the product does not give details about the actual state or condition of the site nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the site for any particular purpose, or relied upon for determining salability or value, or used as a substitute for any physical investigation or inspection.
 drawings to be read in accordance with the dwelling emission rate (der/ter) calculation. the building must be built 'as designed' meeting the criteria set for air permeability.

© HERTFORD PLANNING SERVICE
 note when printing off pdf's. It is the responsibility of the user to verify that the resulting prints are to scale on the appropriate sized sheet. also that the scale bars on the plan measure correctly.

PLANNING DEPARTMENT
 OFFICE COPY
 28 JUN 2012
 2012/1258

hps Hertford Planning Service
 Architecture & Planning

Westgate House, 37-41 Castle Street,
 Hertford, Herts SG14 1HH
 Tel: 01992 552173 Fax: 01992 587643
 Email: contact@hertfordplanning.co.uk
 www.hertfordplanning.co.uk



Client	Mr B and Mrs C Bester
Description	
Project	Wildewood Essendon AL9 6JG
Drawing	EXISTING Plans
Date	Feb 2011
Scale	1:100
Sheet size	A1
Drawn	DT
10424-s003-A	

