

**FLAT ROOF**  
12.5mm of stone chippings bedded in blumen compound, 3 layers of blumen felt to BS 747 Part 2 (1870 top layer to be high performance felt laid and built up in accordance with CP144 Part 3 : 10/10/75 mm x 50mm C24 grade s.w. joists @ 400mm c/c. U-value of roof to be less than 0.25m<sup>2</sup> K in accordance with part L.

**COLD ROOF** - 19mm plywood decking fixed to 3-49 flat 38 x 38mm counter battens @ 400mm c/c. 250mm Fibreglass Insulation 500g polythene vapour barrier 10.5mm plasterboard and skim, 25mm continuous vent gap with fly screen to soffit.

**WARM ROOF** - 105mm Celotex TD 3105 combined insulation and decking fixed to 1.40 fall 12.5mm plasterboard and skim.  
Falls and mineralised felt flashing cantled min. 150mm up adjoining walls with code 4 lead flashing over 50mm mineralised felt with at least 38 x 25mm drip pattern 25mm thick larvalised s.w. fascia 110mm H.R. u.p.v.c. gutter 75mm R.W.P.

**WALLS**  
Walespan rendering to B.S. 6882 - 020 on 400mm carbon-steelwork. Facing brick and bond to match existing 25mm cavity filled with drythem 32 insulation bats. 100mm colour solar block inner skin with 12mm plaster. U value to wall to be less than 0.25m<sup>2</sup> K. In accordance with part L. Thermobute cavity closes to openings.  
Wall ties to B.S. 1213 staggered 200mm horizontally and 450mm vertically doubled at openings. Ties in row walls and maintain cavities. Vertical dpc's to all reveals. 19mm horizontal dpc min. 150mm above ground level and 100mm min. tops. Weak concrete fill to ground level. Walls parallel to timber restrained by 30mm x 5mm galv. m.s. anchor straps with noggin @ max. 900mm c/c. engaging 3 no. pinto-nails.

**FOUNDATIONS AND SLAB**  
400mm wide 3-6 mass concrete foundations min. 1000mm below ground level and to 500mm min. below any free root activity, and to finish level of adjacent drains, foundations to comply with N.H.C. Practice Note 4.2. 75mm of 1:2 cement/sand covered on 3 coats of 40mm fibre glass 50m continuous with 400 x 125mm concrete on 80mm high density Celotex G3A3002 floor insulation on 1000g polythene membrane on sand bedding on 150mm well consolidated hardcore. U-value of slab to be less than 0.25m<sup>2</sup> K.

**DRAINAGE**  
Expose any existing drains under new building and assess in 150mm concrete. New drains to be 110mm dia. Upvc. Gully drain to min. 1:40 falls bedded and surrounded in 100mm pea shingle. Provide c. bricks over any drain passing through walls or foundations and 75mm capping to drains with less than 600mm cover. New manholes to be 450mm dia. polypropylene Omega inspection chambers or gullies within building to have bolted and sealed covers. Sootaways where used when s.w. not available to be min. 500mm from any building designed in accordance with BRE. Digest 800.

**ALL DRAINAGE TO BE CARRIED OUT TO B.S. 8307 : 1995.**

**DRAINAGE ABOVE GROUND**  
110mm dia. Upvc. soil and vent pipes to terminate min. 900mm above any windows and filled with durable gull. 10mm dia. Upvc. soil pipe to wet 75mm deep seal trap. 40mm dia. Upvc. waste to sinks, baths, showers and showers. Wastes greater than 500mm long to have min. 75mm dia. All in accordance with BS EN 12056:2000.

**FIRE PROTECTION**  
Beams encased in two layers of 12.5mm gypsum plasterboard to break joint band with a timber cradle with 7mm gypsum plaster skin, denotes half hour self closing fire door with 25mm door stops and 100mm non-combustible threshold to garage. Smoke alarm to be provided to hall and landing. mains powered interlinked conforming to B.S. 5446 Part 1.  
Any air brick covered by new work ducted by 110mm dia. Pipe under new floor to new 75 x 215mm air brick.

**DOORMAT CHECKS**  
Plain ting Pressure impregnated boarding on 38 x 25mm pressure impregnated battens on breather felt on 3mm sheathing plywood on 100 x 50mm studwork @ 400mm c/c. 100mm Fibreglass Insulation 500g polythene vapour barrier 10.5mm plasterboard and skim. Code 4 lead flashings and sements to junctions to roof.

**FIREPLACES AND FLUES**  
125mm thick superimposed hearth to extend 150mm to sides and 500mm in front of jamb. Provide fixing points for fireguard. 200mm dia. Clay flue liners to B.S. 1181. All timber trimmed min. 200mm away from flue and 50mm away from casing to flue. Code 4 lead back gutter, horizontal dpc flashings and soakers to junction of chimney with roof. 215 x 215mm air brick for combustion. Gas fired balanced flue term to be solid masonry 300mm from any ceiling and fitted with durable wind guard. A notice plate is to be provided adjacent to the consumer unit stating the location of the fireplace, the flue category, the appliances that can be accommodated, the size and manufacturer of the flue and the installation date. Appliances listed in accordance with approved documents 1 and the details made available to the L.A. Building Control. All heating and hot water systems need to be fully commissioned to ensure they are operating at maximum efficiency and all of both the client and building control Officer. Proper instructions to owners should be provided to inform them how to operate the system efficiently, what routine maintenance is required and the benefits of conserving fuel and power.

**WINDOWS AND VENTILATION AND LIGHTING**  
All new double glazed windows and patio doors to have min. 16mm argon filled gap providing a u-value less than 1.4w/m<sup>2</sup> K. All new glazing in critical areas to be toughened glass to B.S. 6859 : 1981 in accordance with part N. Windows to provide, or be replaced with, adjustable dpc flashings and double paneled heads to patio doors and 8000mm<sup>2</sup> trickle vents to windows.  
Habitable rooms to be provided with an opening window giving an unobstructed aperture of 0.33m<sup>2</sup> with a min. aperture of 750mm x 450mm - all height 800mm above F.F.L.  
Internal toilet accommodation vented by extractor fans ducted to external air. Fan wired to light switch and to run at 20 minutes after light switched off.  
Bathroom/Dormer rooms to have mechanical extract fan to clear 15 litres per second. Kitchen to have cooker hood extract fan to clear 30 litres per second. New laundry rooms to have a mech. Extract fan to clear min. 30 litres / sec. Provide high efficacy lighting to new rooms Luminous efficacy of 40 lumens per candle shall be provided in at least 50% of rooms. All new double glazed windows and doors should be provided with draught seals to prevent unwanted air infiltration.

**FITCHED ROOF AND CEILING**  
Tiling and pitch to match existing on 38 x 25mm pressure impregnated battens on tyvek vapour permeable membrane. Soffiters to be shown on section. 150mm Fibreglass insulation between joists with 100mm over 500g polythene vapour barrier 12.5mm plasterboard and skim. Compacted pvc ventilation to any sloping insulation ceiling. 25mm continuous vent strip to soffit and cross vented in accordance with B.S. 5250 : 1999. Provide high level roof vents @ 1200mm c/c.

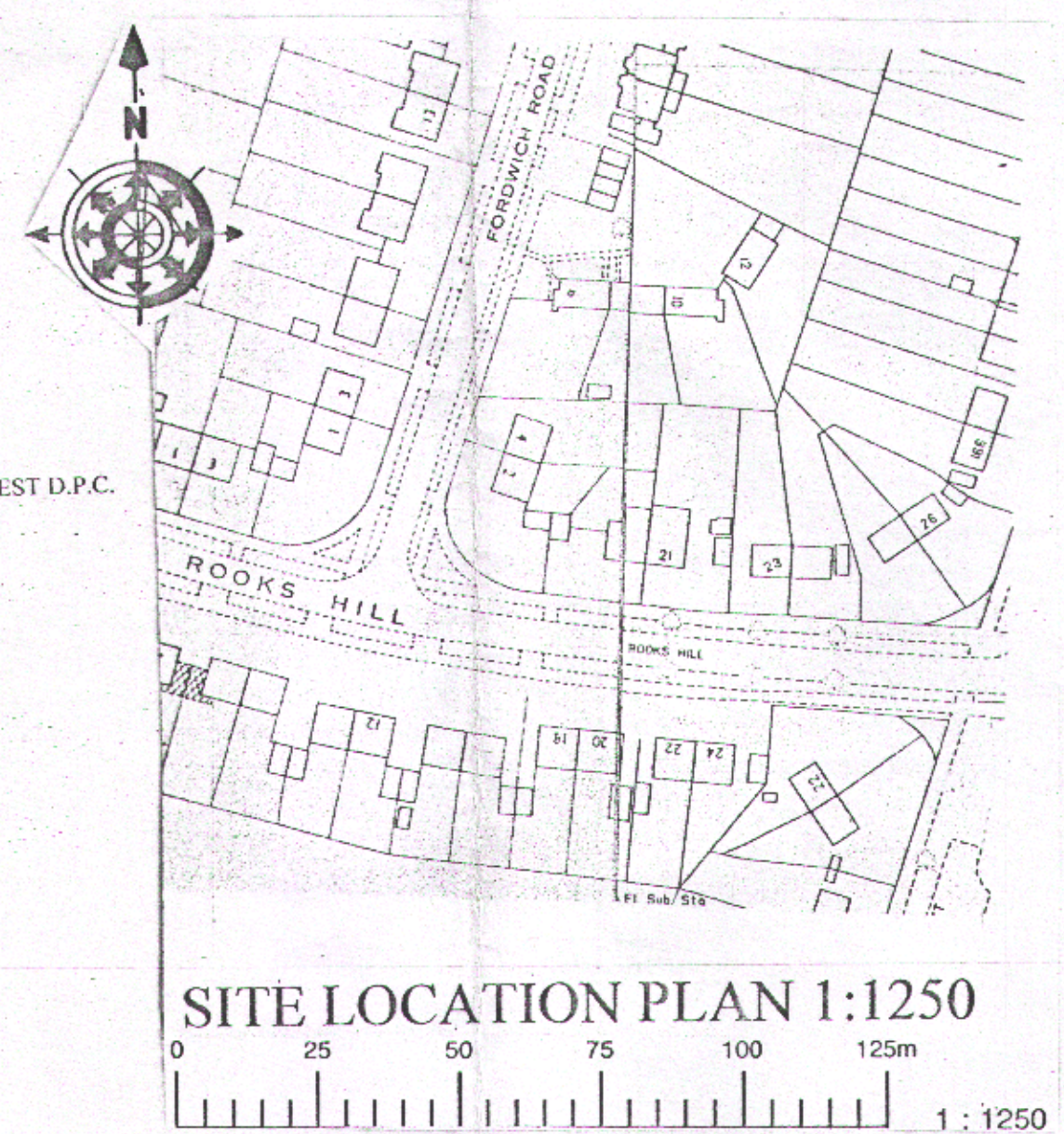
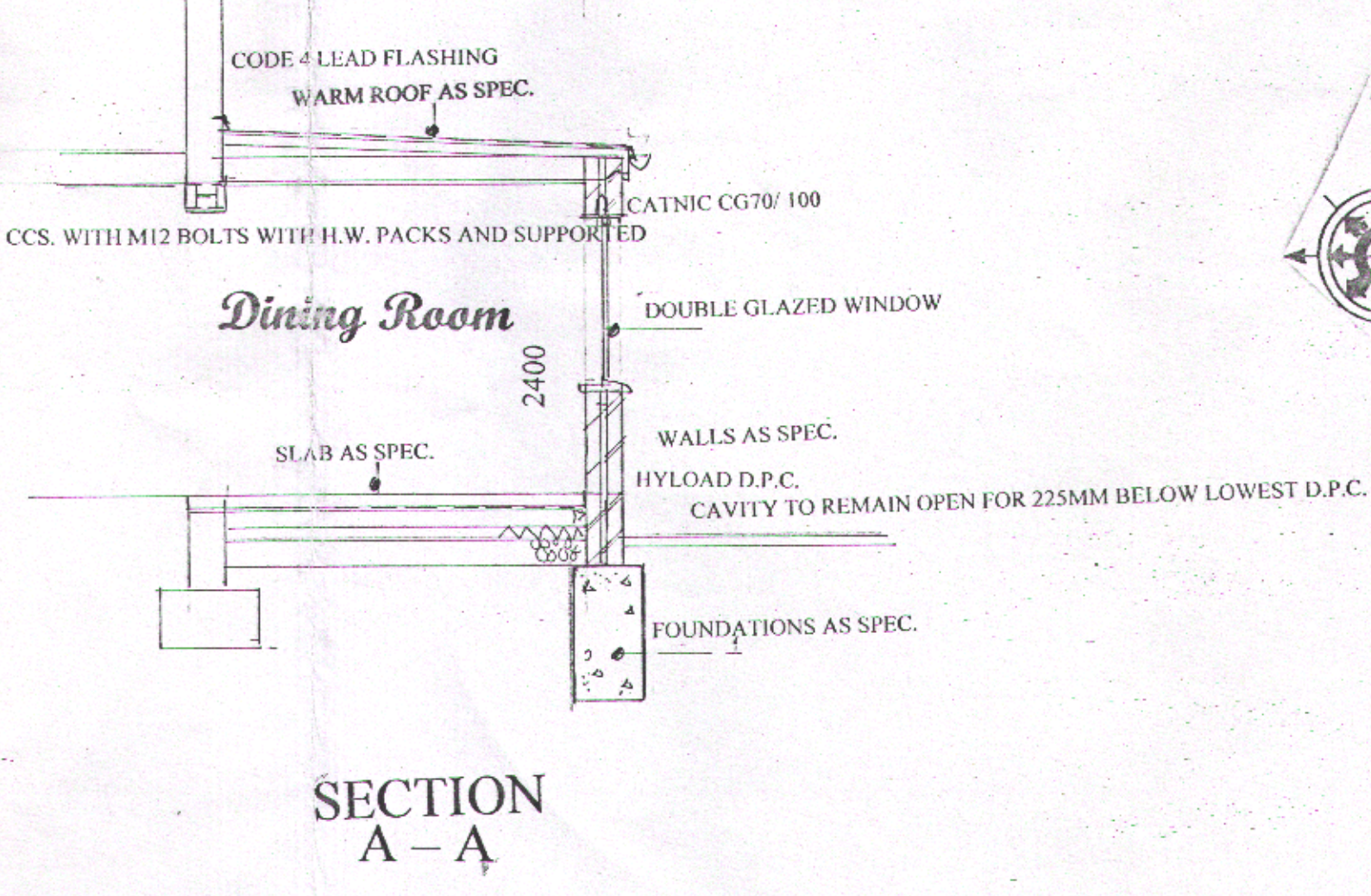
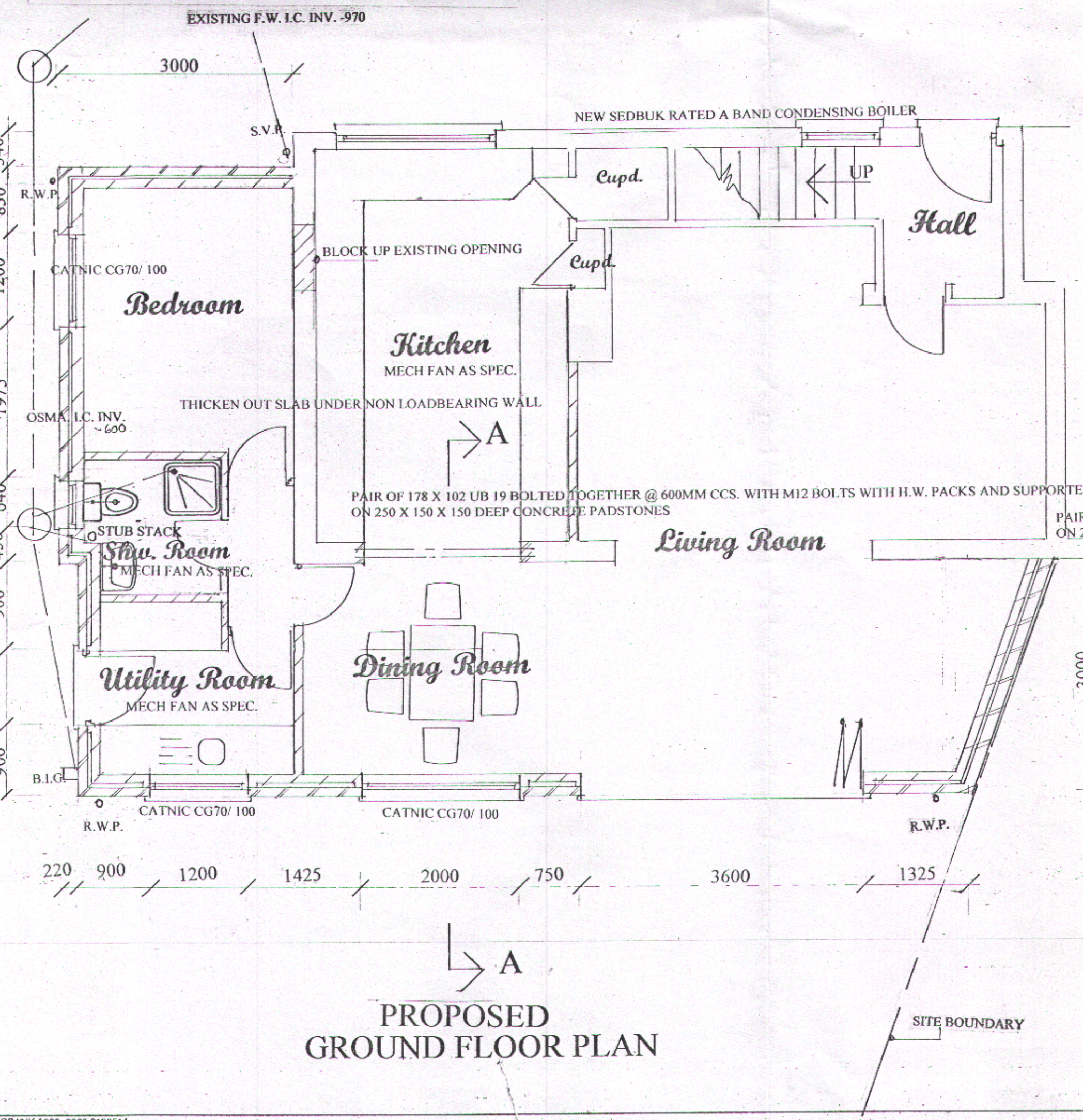
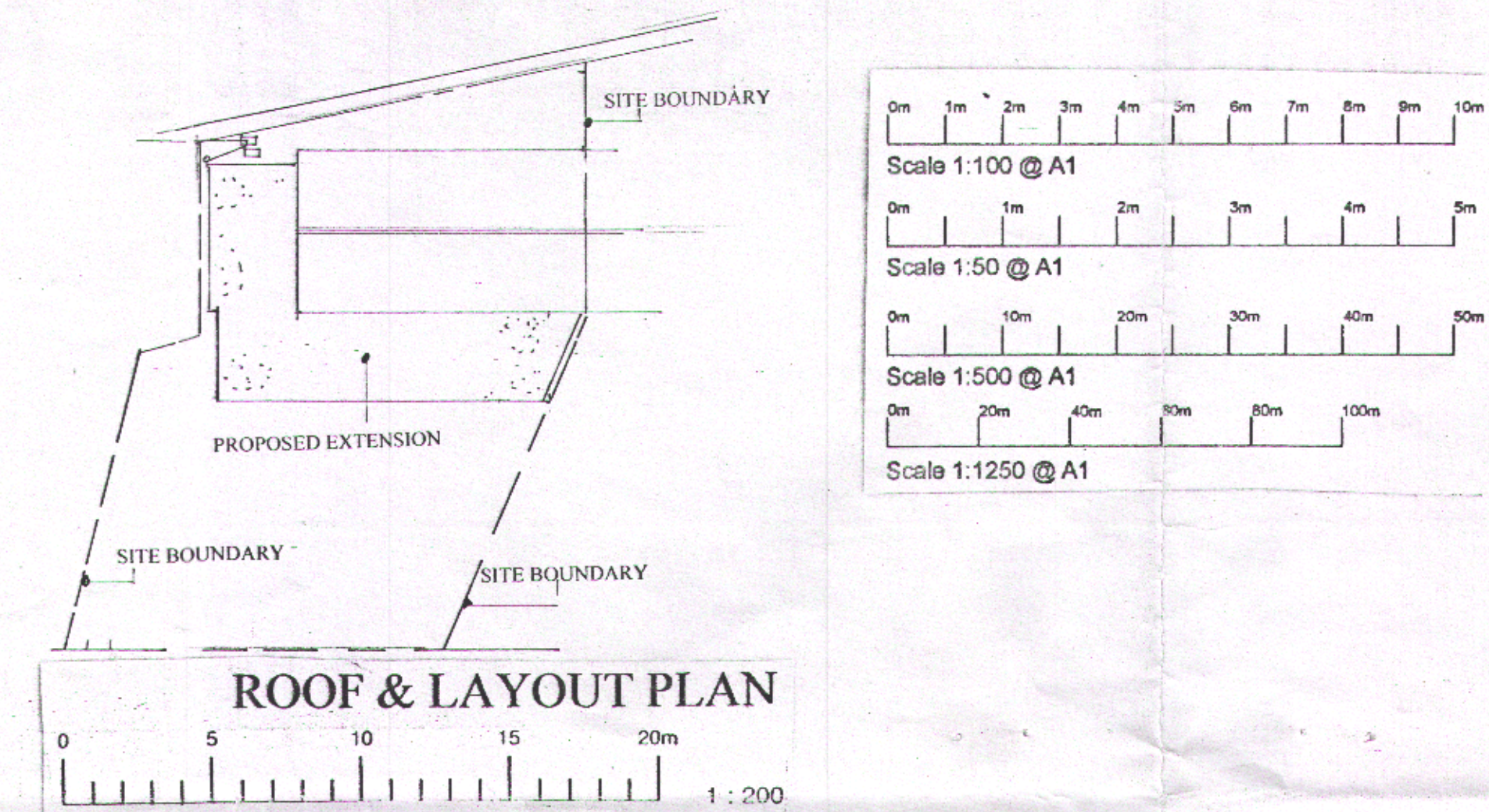
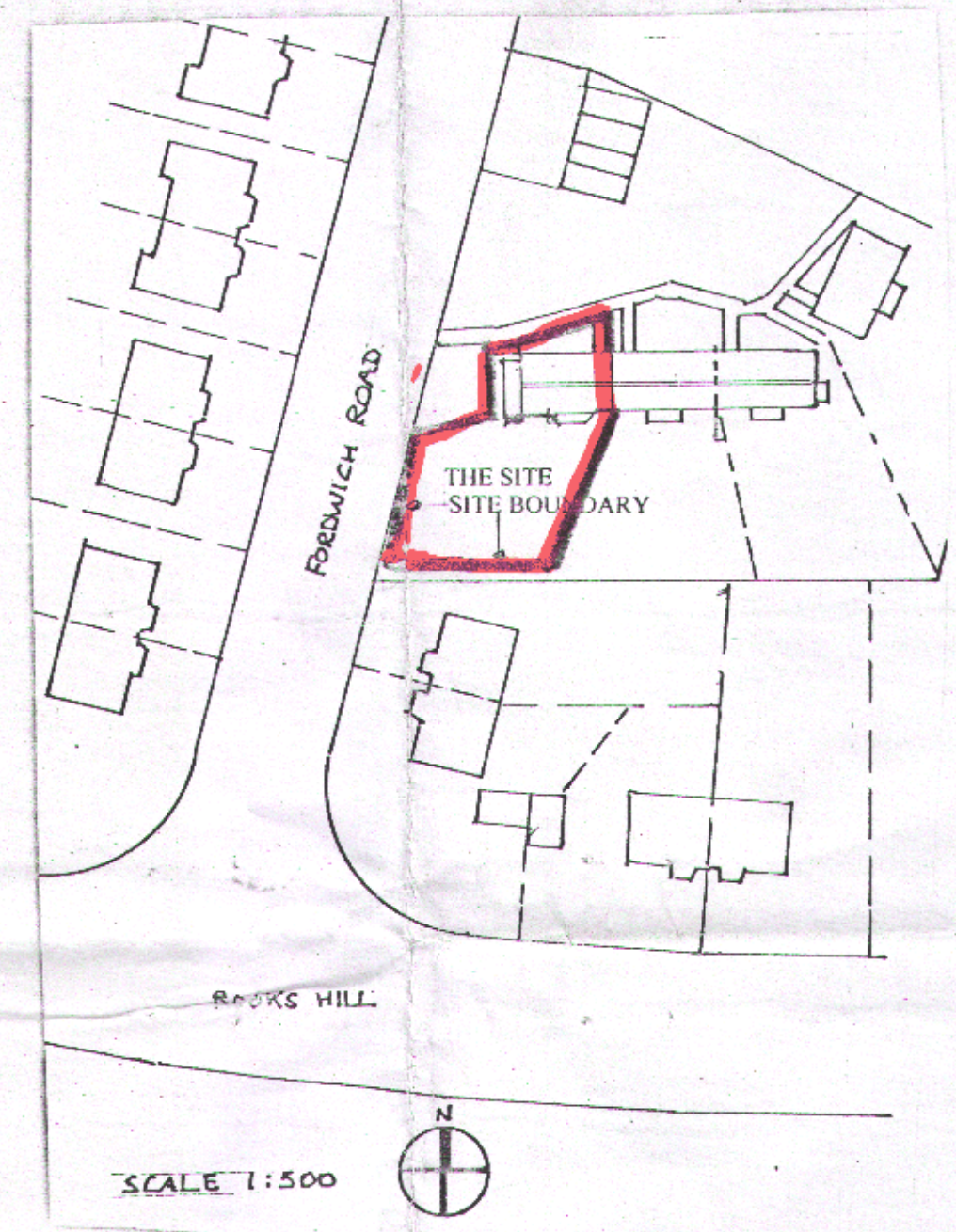
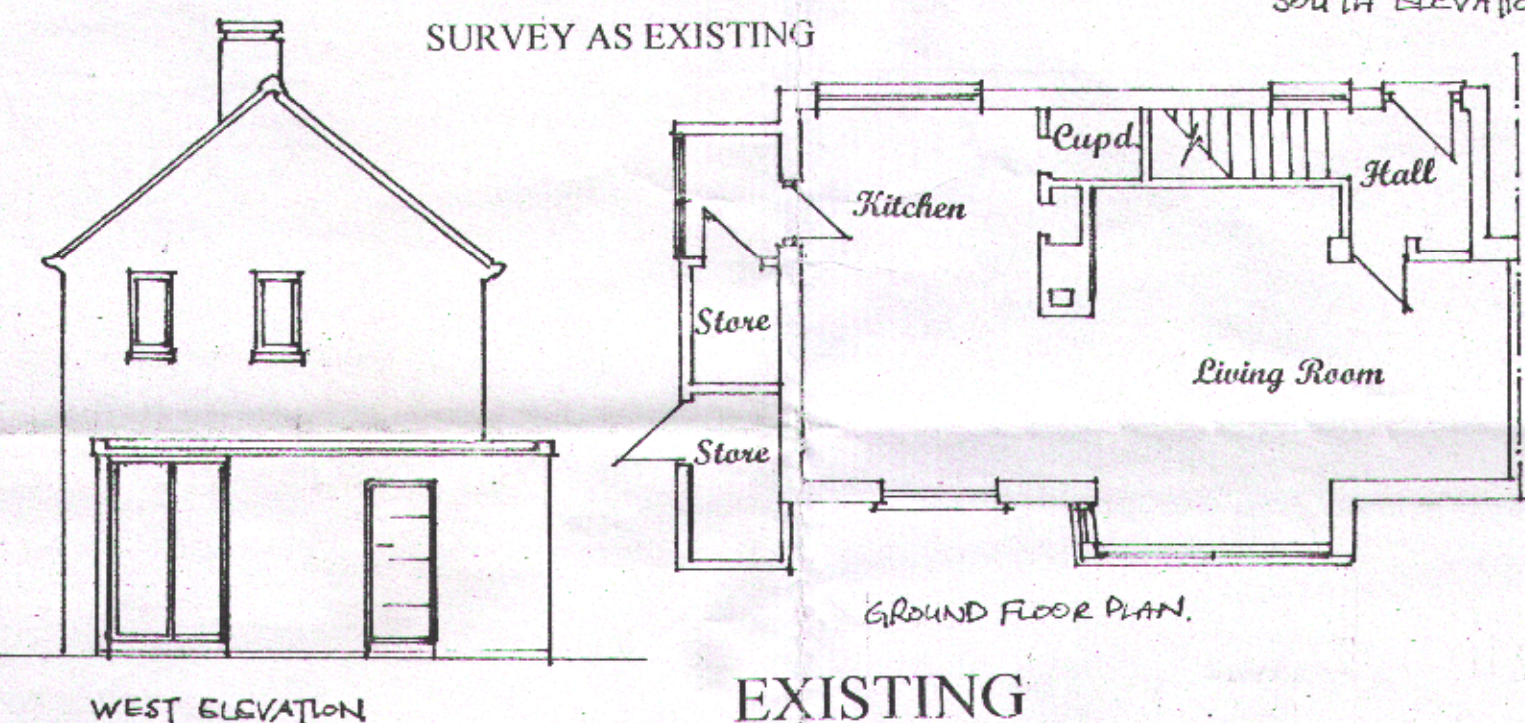
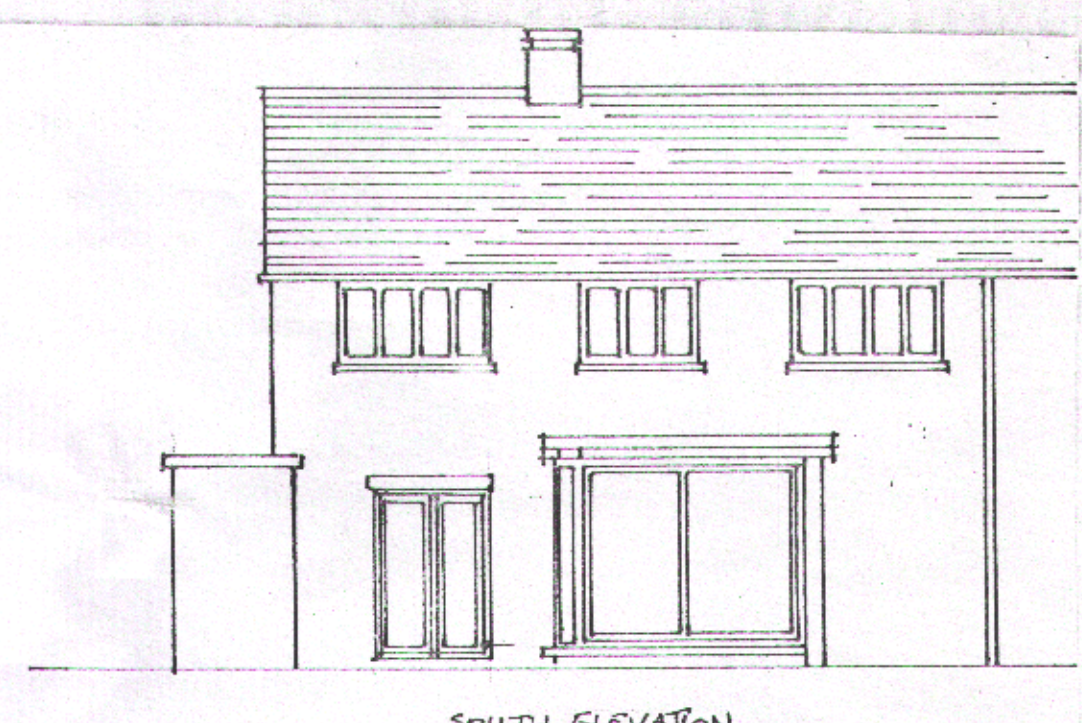
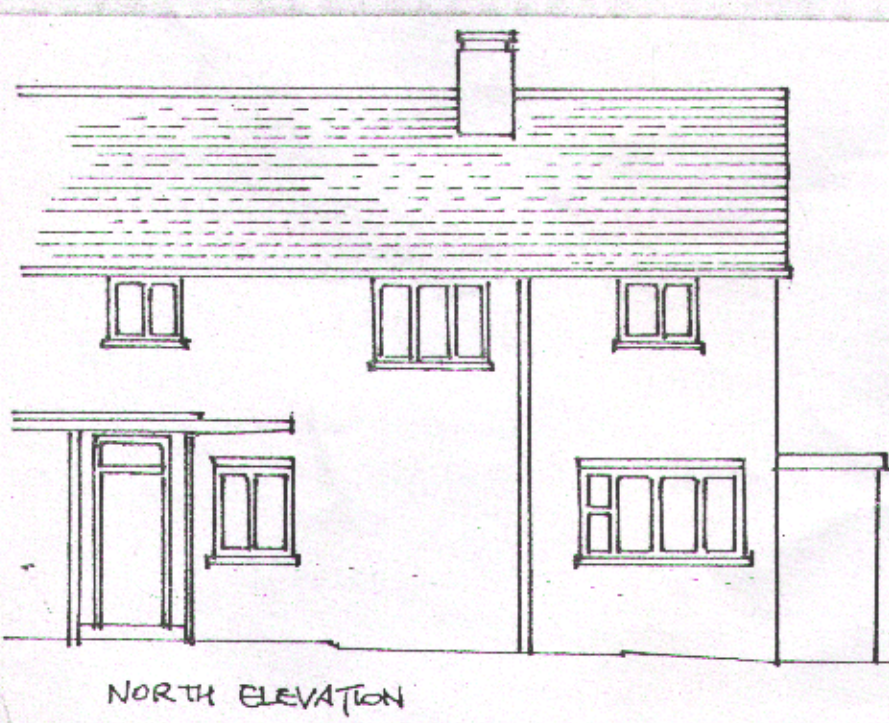
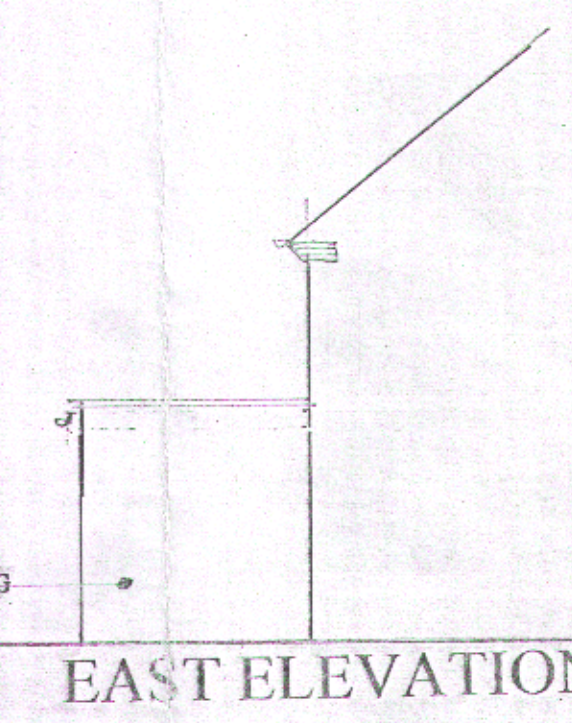
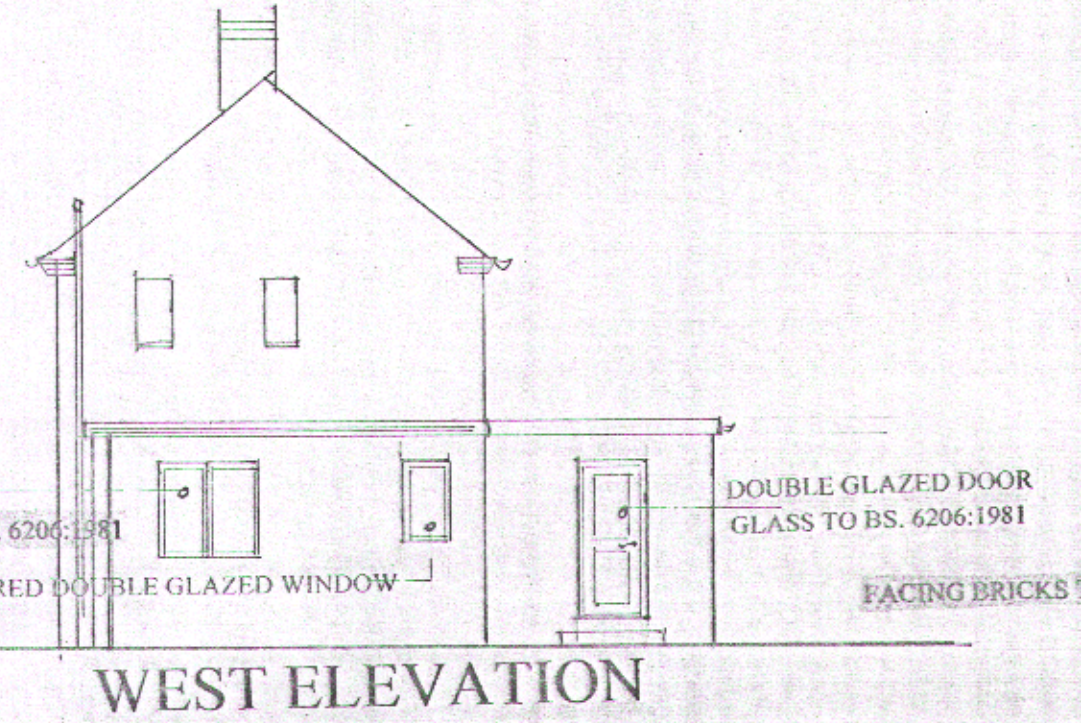
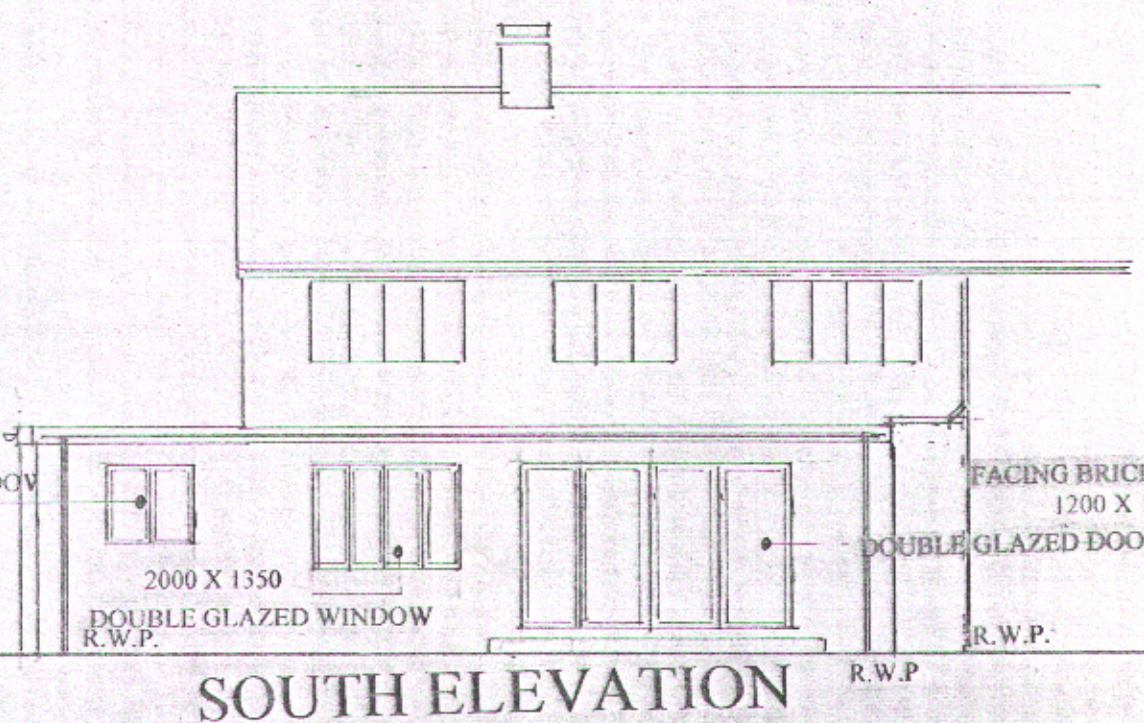
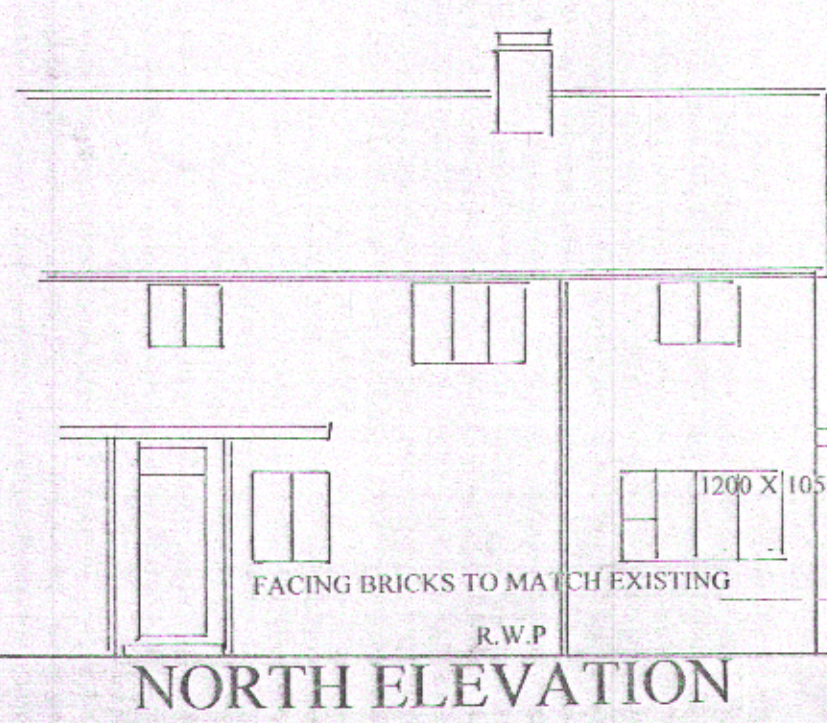
**UPPER FLOORS**  
20mm plywood decking on 200mm x 47mm C24 grade s.w. joists @ 400mm c/c. 38mm x 38mm hattingbone standing 25mm over 500g polythene vapour barrier 12.5mm plasterboard and skim. Compacted pvc ventilation to any sloping insulation ceiling. 25mm continuous vent strip to soffit and cross vented in accordance with B.S. 5250 : 1999. Provide high level roof vents @ 1200mm c/c.

**INTERNAL STUD PARTITIONS**  
100 X 50mm s.w. stud framing built off 100 x 75mm sole plates. Studwork spaced @ 450mm c/c horizontally and 900mm vertically and 100mm polythene vapour insulation in all 15mm plasterboard with a density of 10kg/m<sup>3</sup> and skim both sides. First floor joists doubled up and bolted together under stud partitions.

**STAIRS**  
200mm rise and 225mm going. 25mm nosings. Total rise of run. Min width 800mm. Min. 200mm headroom vertically above stair. Handrail to be 900mm high above pitch line and 900mm clear. Max gap to spindles 99mm. Prior to ordering staircase the contractor shall check the finished floor dimensions double up floor joists where indicated to trim stairwell opening.

**ELECTRICAL**  
All Electrical work required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the council must be satisfied that the appropriate electrical installation certificate has been issued for the work, and has been signed by a person competent to do so.

**GENERAL**  
All work to be carried out in accordance with the Building Regulations 2000 and current B.S. Codes of Practice.  
Adequacy of existing walls, lintels and foundations to be checked on site prior to roofing.  
All dimensions must be checked on site and scaled from the drawing. Any discrepancy in dimensions must be notified before proceeding. No responsibility will be accepted for alterations carried out without notification. Materials and workmanship are to be the satisfaction of the client matching existing where possible.  
Where applicable consent from the adjoining owner should be sought under the provisions of the party wall etc. act 1996.  
All new electrical fittings, radiator positions etc are to be agreed on site with client. The builder is to remove all debris as it accumulates and on completion leave the site tidy to the clients satisfaction.



PLANNING DEPARTMENT  
27 MAR 2012  
No: 6-2012/069

**JOB TITLE**  
6 FORDWICH ROAD  
WELWYN GARDEN CITY  
HERTFORDSHIRE

**DRAWING TITLE**  
PROPOSED SINGLE STOREY SIDE  
AND REAR EXTENSIONS

**CLIENT**  
MR & MRS WHITE

**SCALE**  
1:50 1:100 1:200 1:500 1:1250

**DATE**  
MARCH 2012

**DRG No.**  
01

**AMENDMENTS**

A
B
C

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