

SCALE 1:100 @ A3

METERS



ALL WORKS TO COMPLY WITH THE CURRENT BUILDING REGULATIONS AND CODES OF PRACTICES

DO NOT SCALE FROM THE DRAWINGS ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE THE START OF ANY WORK.

PLEASE NOTE:

PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE PARTY WALL ACT 1996 ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.

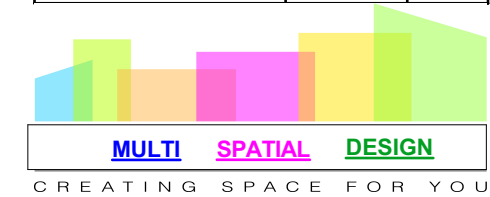
ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

PARTY WALL ACT:

THE OWNER THEY SHOULD NEED TO DO SO UNDER THE REQUIREMENTS OF THE PARTY WALL ACT 1996 HAS A DUTY TO SERVE A PARTY STRUCTURE NOTICE ON ANY ADJOINING OWNER IF THE BUILDING WORKS INVOLVE WORKS ON OR TO AN EXISTING PARTY WALL INCLUDING:

- *SUPPORT OF BEAM.
- *INSERTION OF DPC THROUGH WALL.
- *RAISING OF WALL OR CUTTING OF PROJECTIONS
- *DEMOLITION AND REBUILDING.
- *UNDERPINNING
- *INSERTION OF LEAD FLASHING
- *EXCAVATION WITHIN 3 METERS OF AN EXISTING STRUCTURE WHERE THE NEW FOUNDATIONS WILL GO DEEPER THAN ADJOINING FOUNDATIONS, OR WITHIN 6 METERS OF AN EXISTING STRUCTURE WHERE THE NEW FOUNDATIONS ARE WITHIN 45 DEGREE LINE OF ADJOINING FOUNDATIONS.

REVISION HISTORY	CODE	DATE



Client
MR JOE M
Joemonkottoor@yahoo.com
Job Title

PROPOSED 6 METER REAR SINGLE STOREY EXTENSION AT NO 40 ASTICKWICK AVENUE-HATFIELD AL10-9AL

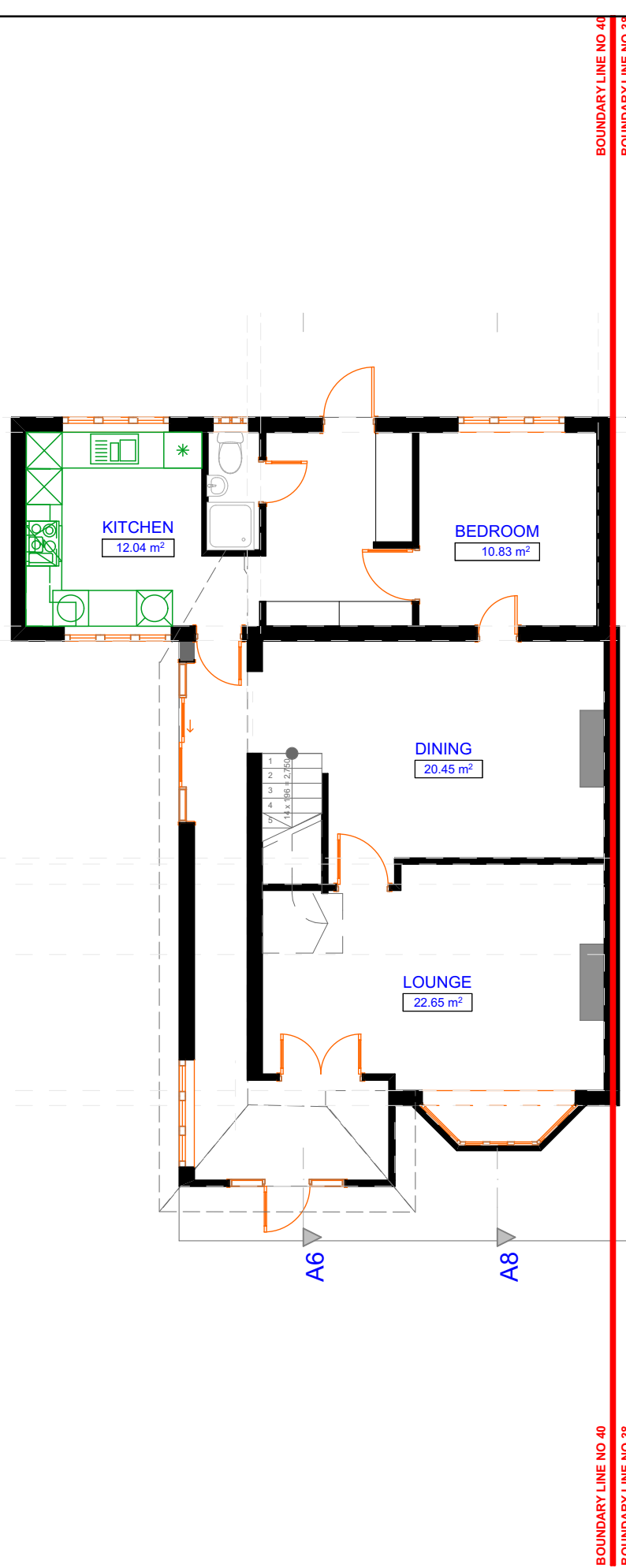
Drawing Title
FLOORS PLANS - EXISTING

Drawn by	Date	Checked	Verified	Date
John N	OCT 2018	John n	John N	OCT 2018

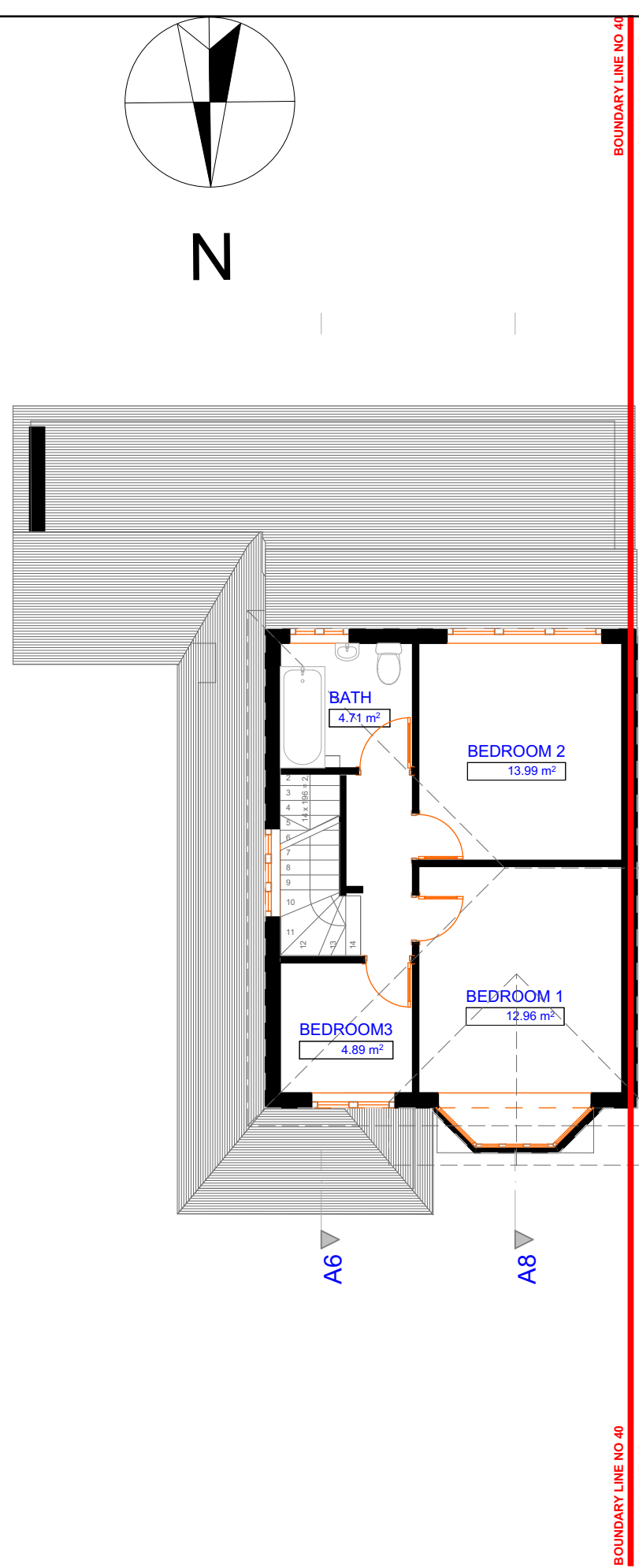
Scale
1:100@A3

Drawing Status
PLANNING

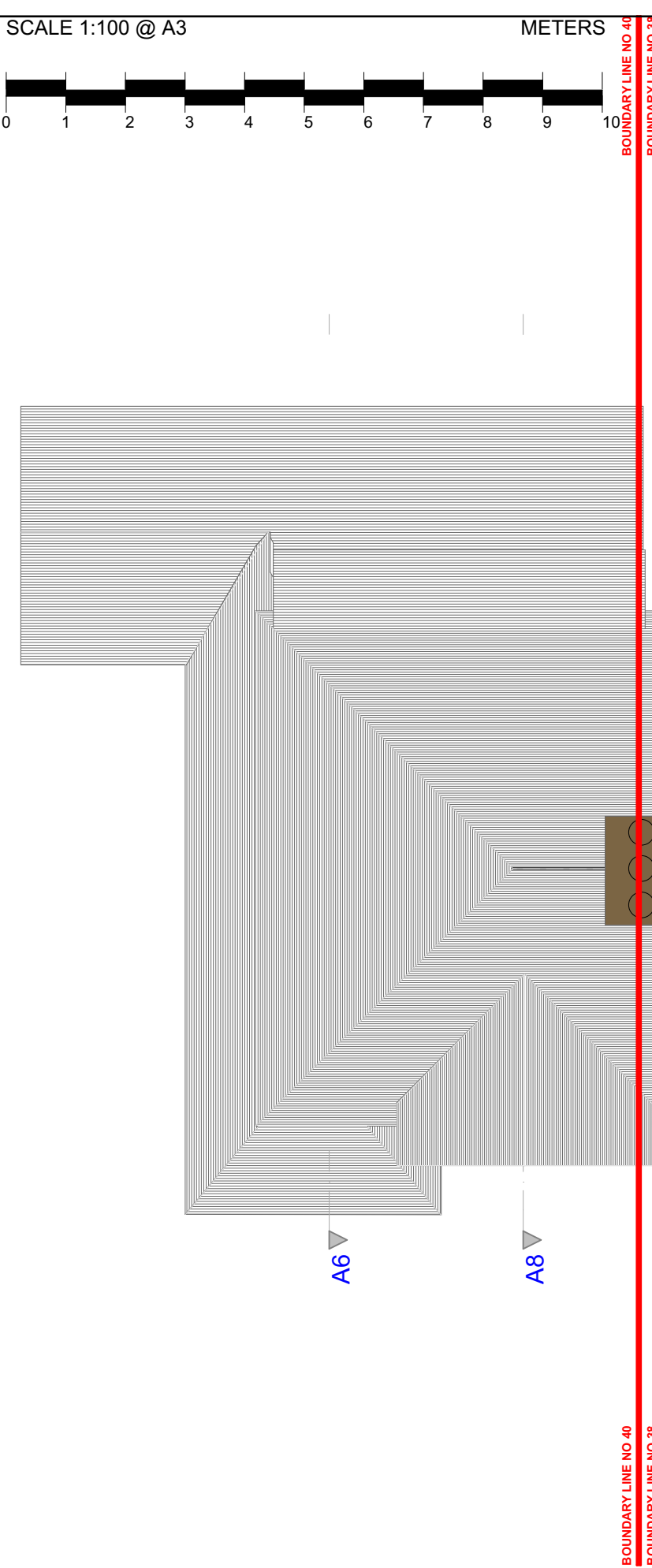
Drawing number	Revision
15164-PLN-00	0



EXISTING GROUND FLOOR PLAN 1:100



EXISTING FIRST FLOOR PLAN 1:100



EXISTING ROOF PLAN 1:100