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For and on behalf of
**Oshwal Association
of the UK (OAUk)**

Heritage Statement

**Oshwal Centre,
Coopers Lane Road
Northaw EN6 4DG**



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1.0 Introduction

Background

1.1 Saloria Architects has been engaged by the Applicants, Oshwal Association of the UK (OAUK) to prepare the following Heritage Statement to accompany a Listed Building Application for the internal repair and refurbishment of Oshwal House (formerly known as The Hook House) a Grade II Listed Building. This Statement is provided to show the analysis of the historic fabric so as to ensure that the historic importance of the building is preserved and enhanced as a result of the proposal.

1.2 The works proposed primarily consist of general repair and maintenance. More substantial works are proposed in the least sensitive parts of the building and this comprises the following:

- The closing of 3no. existing doorways
- The opening of 3no. new doorways and the widening of 4no. existing doorways
- The conversion of 1no. kitchenette and 1no. storage room into bedrooms
- The conversion of 1no. kitchenette and 1no. storage room into shower rooms
- The removal of 1no. modern partition wall
- The erection of 2no. partitions to form additional en-suite bathrooms.

Site location

1.3 The subject site is located on the north side of Coopers Lane Road. The principal elevation of the existing building is orientated towards Coopers Lane Road. For a more detailed description of the site and its context, see Site Description and Context



Location of the Oshwal Centre

2.0 Description

Site Description and Context

- 2.1 This Statement refers to Oshwal House, which is part of the Oshwal Centre located on Coopers Lane Road, Northaw. It is therefore located in the southern part of the District where it is accessible from the principal town of Potters Bar. Whilst located in the open countryside, the Oshwal Centre comprises a range of established buildings and is adjoined by a residential enclave known as Firs Wood Close.
- 2.2 The Oshwal Centre lies within an area of Green Belt as designated by the Welwyn Hatfield Local Plan.



the Oshwal Centre

Building Description

- 2.3 The building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) for its special architectural or historic interest. The principal elevation of Oshwal House faces south-south-west (hereafter south) and overlooks the parking area. The listed description of the building is as follows:

THE HOOK HOUSE

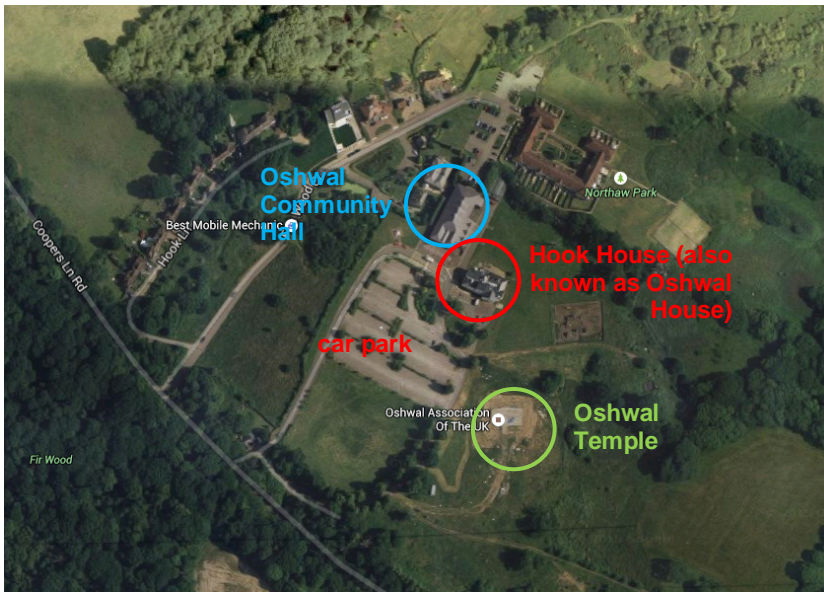
List Entry Number: 1173884
Location: THE HOOK HOUSE, COOPER'S LANE

OS Grid Reference: TL2787501280
OS Grid Coordinates: 527875, 201280
Latitude/Longitude: 51.6957, -0.1512

The building may lie within the boundary of more than one authority.

County: Hertfordshire
District: Welwyn Hatfield
District Type: District Authority
Parish: Northaw and Cuffley
Postcode: EN6 4NF

National Park: Not applicable to this List entry.
Grade: II
Date first listed: 06-Feb-1952
Date of most recent amendment: Not applicable to this List entry.



the Hook House

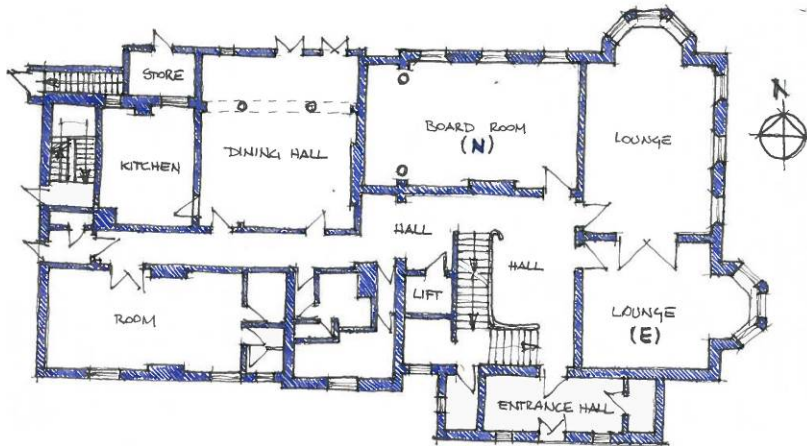
3.0 History & Heritage Significance

- 3.1 The listing describes the property known as The Hook House stating that it dates from 1839 and that it is an asymmetrical Tuscan-style villa showing influence of Loudon's Encyclopaedia. The full listing is appended.
- 3.2 All the walls of the building are in painted stucco under a slate roof. The building is divided into three main parts with the right wing comprising of a two-storey gable end building, the left forming a three-storey wing and the centre encompassing a four-storey gabled tower with a relief arch to the first and second floors. On the ground floor of the right wing, on the front elevation, there is rusticated banding and a recessed central door with narrow flanking windows and three round-headed first floor windows with intermediate blanks.



front (south) elevation of
Oshwal House

- 3.3 The east and central elevations have left hand canted ground floor window bays; the east elevation is marginally different with a slightly gabled projection. A floor band and wide eaves canopy is replicated all over the building. All the windows within the property consist of recessed sash windows. Within the building, there is a large, open, early C18 staircase said to have come from Gobions House (another manor near Potters Bar, demolished 1838). Each tread has iron twist, barley twist and fluted balusters. The sides with acanthus scrolls. The internal walls also have C18 Flemish tapestries. 'E' ground floor room has Adam style husk and foliage friezes, and 'N' room has C17 style panelling with alcove on the west wall, flanked by fluted Doric columns (Pevsner, 1977).



(N) the Board Room
(E) the East Lounge

ground floor plan of
Oshwal House in
its present form

All the above information is drawn from:
<http://www.britishlistedbuildings.co.uk/>
<http://list.historicengland.org.uk>



east elevation of
Oshwal House



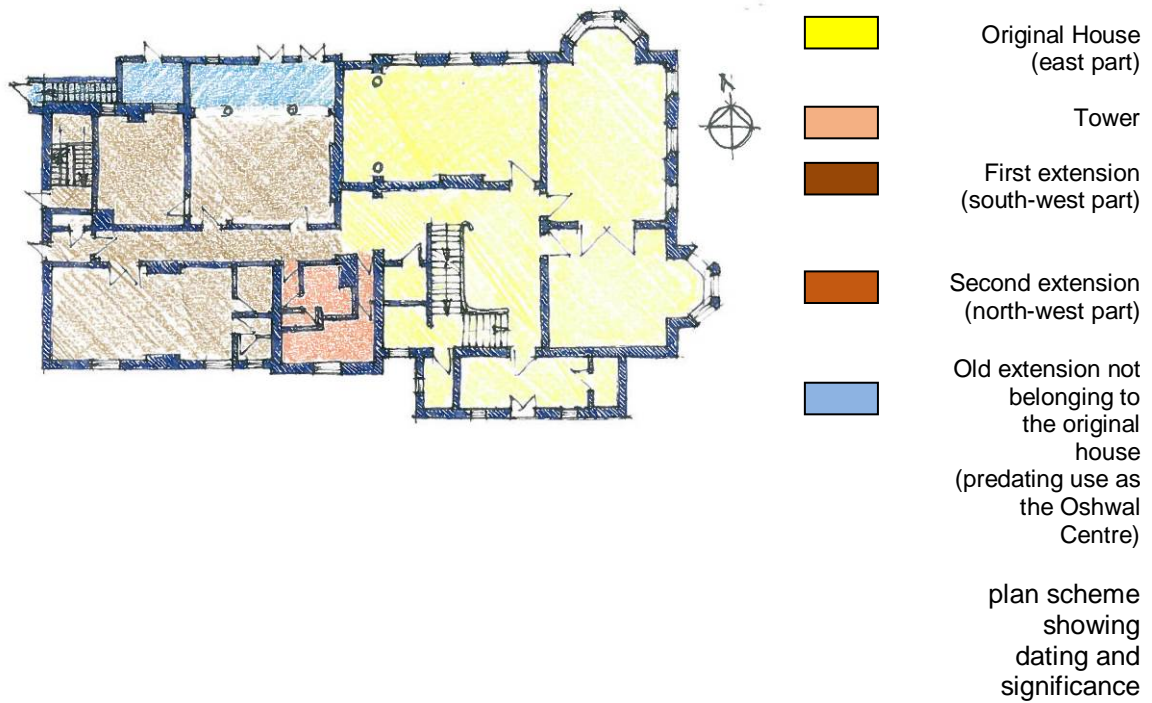
rear (north) elevation
of Oshwal
House



west elevation of
Oshwal House

- 3.4 There are three main areas of significance, which break down the original ground floor of the House into key elements which are described on the analysis plan below:
1. Lobby and entrance hall, community lounges and board room
 2. Offices and bathrooms;
 3. Dining room, kitchen and staircases
- 3.5 In addition, there is a fourth area described in the diagram below as the “old extension” which added an area to the north west of the building, thereby removing the step in the rear façade and creating a small gable at first floor level. This extension predates occupation by OAUk and contains:
4. Small extension to the dining room and store.

3.6 The below sketch map notes the importance of elements of the composition. It is clear that whilst of differing ages and purposes the four areas above are essential to the understanding and evolution of the building. It seems appropriate that the less important area (hatched blue) had been approved to be annexed to a larger extension which, although it demonstrates the changing nature of the House through time, can also enhance the uses without affecting the original House in any way (architecturally structurally or technologically). Looking in more detail, it is clear that the “old extension” has features similar to the original building although it also has modern elements (e.g.: u-PVC windows). The photo above and the schemes below show the aforementioned extension to the rear of the house including the inappropriate detailing of the French doors (serving the dining room) and the poor-quality structure comprising the kitchen store and stairwell.



The schemes below show dating and significance of the building and consequently of the render.



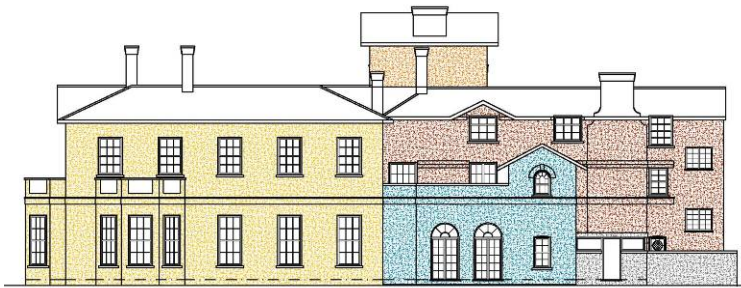


Original House
(east part)



Tower

east elevation scheme



Original House
(east part)



Tower



Second extension
(north-west part)



Old extension not
belonging to the
original house
(predating use as the
Oshwal Centre)

north elevation scheme



Original House
(east part)



Tower



First extension
(south-west part)



Second extension
(north-west part)



Old extension not
belonging to the
original house
(predating use as the
Oshwal Centre)

west elevation scheme

4.0 Heritage Significance

- 4.01 Planning permission has previously been granted for the extension of Oshwal House. It has therefore been acknowledged in principle that the setting and importance of the House is not compromised by external extension which preserves the general form and character.
- 4.02 The original part of Oshwal House is a two-storey building. The main entrance elevation is divided into a ground floor with rustication and a narrow window either side of the door recess. At first floor, three Romanesque arched windows and two blind windows sit within a slight recess with a floor band above and below. The elevation terminates as a gable end, creating the impression of a neo-classical pediment.
- 4.03 The east elevation features a partial gable, off-centre to the left-hand side, upon which sits a single-storey bay consisting of three windows at ground floor level, with a decorative parapet at first floor level. Three windows, a central window flanked each side by a narrow side light sit in a similar recess to the entrance elevation, overall creating a similar appearance to the south elevation. The rustication to the south elevation is visible on the return wall of the entrance gable but does not continue onto the partial gable itself or anywhere else on the east elevation. To the right of the partial gable the original house continues, consisting of three large windows to the ground floor and three to the first floor, generally aligned and separated by the floor band and ceiling band which continue the full width of the elevation. The right-hand part terminates in a hipped roof.
- 4.04 On the rear elevation there is another single-storey bay of three windows, similarly offset to the left of centre as the east elevation, with a decorative parapet with a honeycomb panel design. To the right of this at the ground floor three windows roughly equally punctuate the wall. At the first floor five windows are spaced regularly, to align with the three windows at ground floor level, continuing the pattern above the parapet. The floor and ceiling band continue the full width of the original elevation without interruption, and the roof structure terminates in hipped corners at both ends.



original house: front elevation
(south) of Oshwal House



original house: east elevation of Oshwal House



original house: rear elevation (north) of Oshwal House

- 4.05 The tower and the south west wing are a later addition to the original house, probably added in the later Victorian Period after the main house was substantially complete. The tower is a four-storey gabled structure on the south elevation with no decorative features to the ground floor, and one window centrally located. The subsequent windows above are aligned with this, comprising another window at the first floor, a Romanesque arched window above that which is roughly at the level of the adjacent eaves, and a further window at the top level. The first and second floor windows are slightly recessed in a similar manner to the original house (with the top of the recess mirroring the arch of the window), and there is some decorative recessing to the top storey.
- 4.06 To the left of the tower the south west wing is comprised of three storeys and a variety of window types. On the south elevation these are of mostly similar appearance to the ground floor of the tower, except for a small ancillary window at the ground floor, and the two small arched windows at the third floor which sit in small breaks in the eaves line which appear as partial gables or dormer windows in the hipped roof. The windows are

set at different levels relative to each other, and whilst the three windows at the far left are roughly vertically aligned with each other, the others are not.

- 4.07 The floor band from the original house at first floor level runs the full width of this wing, and the ceiling band from the eaves of the original house runs to and includes the tower but is not present on the southwest wing. An additional band runs roughly halfway between the 'first floor' band and the eaves of the southwest wing. However, due to the presence of a third storey in a similar building height to the original house it is clear that the bands do not accurately mark the floor levels, as they are broken either in full or in part by the windows at the first-floor level. Aesthetically, this has resulted in a somewhat more chaotic appearance compared to the rest of the house, which we consider to be of a lower value to the Tuscan style in which the house was conceived.
- 4.08 On the west elevation some of the order is restored, as the windows align to each other and generally mirror the arrangement of windows at the left-hand side of the south elevation, including the partial gable to the arched window at the second floor, and the banding which is broken by the first-floor window.



southwest wing and tower: front elevation (south) of Oshwal House



southwest wing: west elevation of Oshwal House

4.09 The final part of the house is the northwest wing, which encompasses several later additions to the original and southwest wing. This wing has very little in common with the oldest part of the house and appears to have already been subject to a number of additions and alterations prior to its occupation by OAUk, to the extent that many of the original openings have been lost. These have been replaced by side hung or top hung casement windows at a variety of levels. One partial gable similar in form to those of the south west wing is present on the north elevation, though the window within it does not feature the same Romanesque arch. Floor bands are partial on the north elevation but missing entirely on the west elevation and closer reflect the levels of the south west wing than the original house.

In this part of the house there is no stucco in some areas: the cream-coloured paint common with the rest of the building has been applied directly to the brickwork, the grain of which can still be seen.

Attached to the main part of the north elevation is the C20 'old extension', which predates the OAUk occupation. This consists of a part single-storey, part two-storey addition including a modest roof terrace at first floor level which is accessed by glazed French doors which mimic the newer side-hung windows in style and appearance. The two-storey part terminates in a gable, under which sits an arched window with a prominent lintel and keystone in a style which is not replicated anywhere on the original house or the extensions.

The extension previously approved and currently being implemented supersedes much of the ground floor in this area.

On the west elevation, the northwest wing terminates in a full gable, and the windows at first and second floor level are of side-hung casement type. The two half-glazed doors at the ground floor are of a humbler domestic style.

4.10 Whilst no external changes to the appearance or fabric of the building is proposed, it should be noted that there is greater scope to alter or replace elements in the northwest and southwest wing because:

- (i) they are less significant due to their later age, and
- (ii) little remains of the original forms especially on the northwest aspect where the original structure has already been impacted by changes to the plan form of the building.

4.11 It is considered that providing any proposed works respect the character of the building, seeking only to alter those parts that are not part of the original fabric and remain subservient to the main house, or that have become necessary for the overall preservation of the house, they should have a negligible impact on the understanding of the building or its overall historic value. Indeed, the opportunity arises to materially improve the appearance and integrity of the building with sensitive choices of materials and detailing.



northwest wing: rear elevation
(north) of Oshwal House



northwest wing: west elevation of
Oshwal House

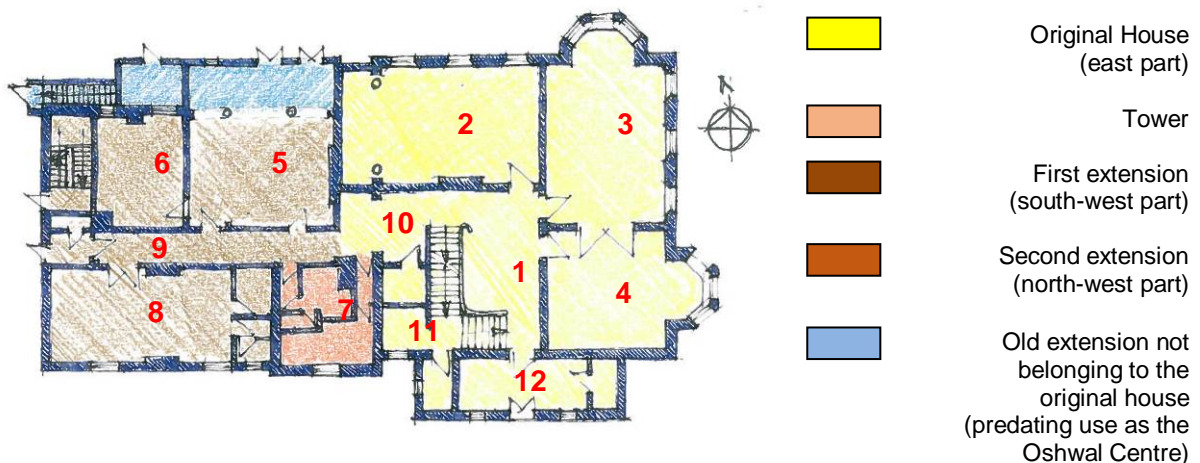
5.0 Elements of the interior refurbishment

Archaeological survey

- 5.01 The proposed works do not affect any potential interest of archaeological value as there will be no change to the building footprint or any disturbance to the ground surrounding the House. The main alterations are proposed at first floor level.

Ground Floor (drawing 6842-75-P0)

- 5.02 The proposed refurbishment aims to make good the internal walls and preserve the historic appearance of the House for the future. The existing plaster will be retained as far as possible and repointed only where necessary in rendered plaster replicating the materials found on site.
- 5.03 The areas defined by Rooms 5, 6 and 7 on Figure 1.0 below benefit from planning permissions 6/2016/0995/FULL and Listed Building Consent 6/2016/0347/LB, for the extension of (5) to form a large dining room and kitchen, and the conversion of (6) and (7) into separate gents and ladies' lavatories.



1.0: plan scheme showing dating and significance

- 5.04 The entrance hall and the main staircase (Room 1 in image 1.0) will be cleaned. Where found, cracking on the walls will be raked out and filled with appropriate materials to suit the age and construction. The walls will be repainted with the same colour. The wooden balustrade and other decorative timber elements will be brushed and waxed in the traditional way to preserve the wood without altering the current appearance. **Overall there will be no change to the existing appearance.**



1.1 – (3913) –
Entrance and main
staircase
Figure 1.0 Room 1

- a. rake out occurring cracks;
- b. repoint the plaster;
- c. wax and maintain exposed timber fixtures and fittings

5.05 The Board Room (Room 2) will be cleaned and all cracks discovered on the walls will be raked out and filled appropriately. The walls will then be repainted with the same colour. The wooden panelling, fireplace surround and decorative elements will be brushed and waxed in the traditional way to preserve the wood without altering the current appearance. **Overall there will be no change to the existing appearance.**



2.0 – (4026) –
Board Room
Figure 1.0 Room 2

- a. rake out occurring cracks;
- b. repoint the plaster;
- c. wax and maintain exposed timber fixtures and fittings



**2.1 – (4028) –
Board Room
Figure 1.0 Room 2**



**2.2 – (4036) –
Board Room
Figure 1.0 Room 2**
detail of the right-hand
side column



**2.3 – (4037) –
Board Room
Figure 1.0 Room 2**
detail of the existing
panelling under
the window.

- 5.06 The Bridge Rooms (Rooms 3 and 4) will be cleaned and all cracks discovered on the walls will be raked out and filled appropriately. The walls will then be repainted with the same colour. The wooden panelling and decorative elements will be brushed and waxed in the traditional way to preserve the wood without altering the current appearance.



3.0 – (3718) –
Bridge Room
Figure 1.0 Room 3
looking toward
Room 4

- 5.07 The Bridge Rooms are amongst the most used rooms in Oshwal House, as Oshwal Centre offers a diverse programme of activities for members, including yoga and traditional dance classes as well as card game evenings and youth activities. The high volume of traffic in these rooms has had a detrimental impact on the finish of the walls especially where chairs have been stored or pushed up against the paintwork.
- 5.08 A wainscot of 1.2m height is proposed to be superimposed to the walls in order to prevent future damage to the plaster as a result of these continuing uses of these rooms. This wainscot will divide the wall into three parts as is common in many late Georgian interiors (see images 4.6).
- 5.09 The panels of the wainscot will be made from a suitably coloured synthetic stone by a reputable company such as Hi-macs or Corian, for maximum resistance against impact, and will be attached to the walls in such a way as to assure the Principle of Reversibility.
- 5.10 The wall panelling will be carved in low relief with a geometric pattern which pays homage to the late Georgian and early Victorian heritage of the building but also draws inspiration from traditional mehndi designs found in India, as a reflection of the Oshwal community. Whilst the wainscoting will recall the feature as used in period architecture (image 4.6), the modern look and material will prevent this from being incorrectly identified as an original inclusion or as pastiche.

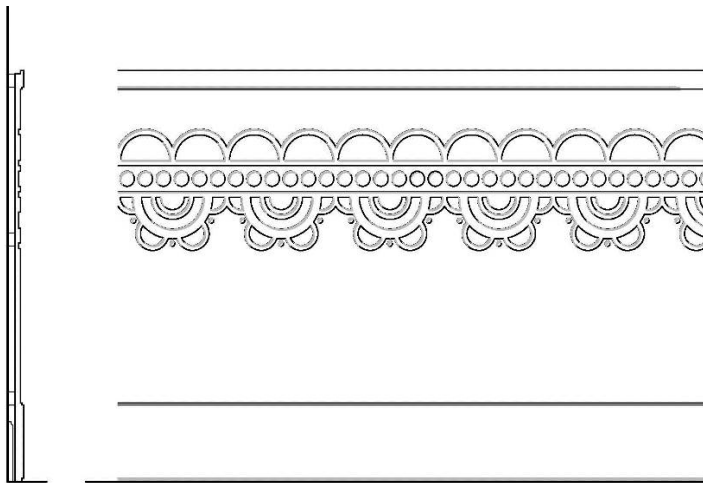
5.11 All the other rooms at the ground floor level, being Rooms 8, 9, 10, 11 and 12 in Figure 1.0 and comprising corridors, disabled bathroom and administration office will be cleaned and all cracks discovered on the walls will be raked out and filled appropriately. The walls will then be repainted with the same colours. Any wooden decorative elements will be brushed and waxed in the traditional way to preserve the wood without altering the current appearance. **Overall there will be no change to the existing appearance.**



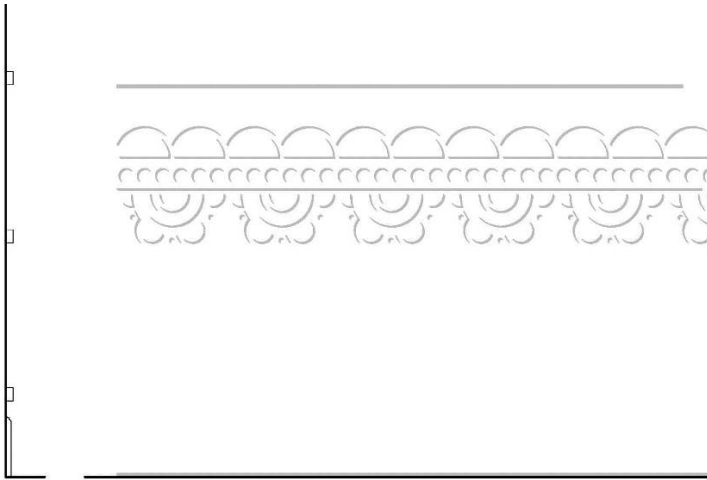
4.0 – (3719) –
Bridge Room
Figure 1.0 Room 4



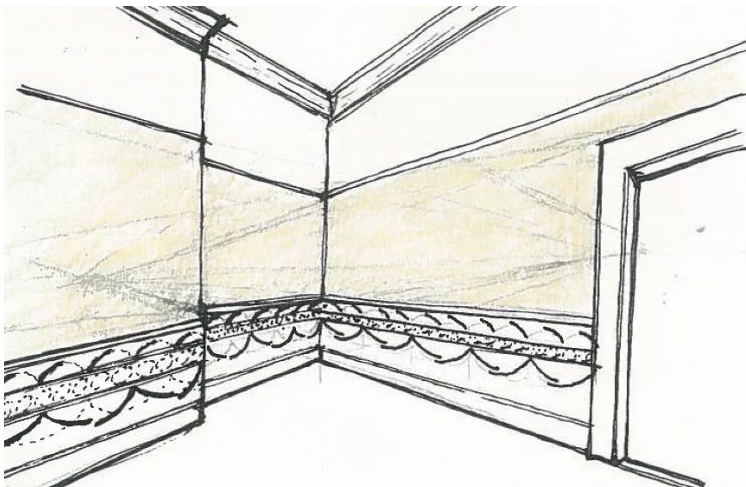
4.1 – example of
traditional mehndi
pattern



4.2 – example of
the proposed
wainscoting pattern



4.3 – the look of the panelling and the ‘carved’ pattern



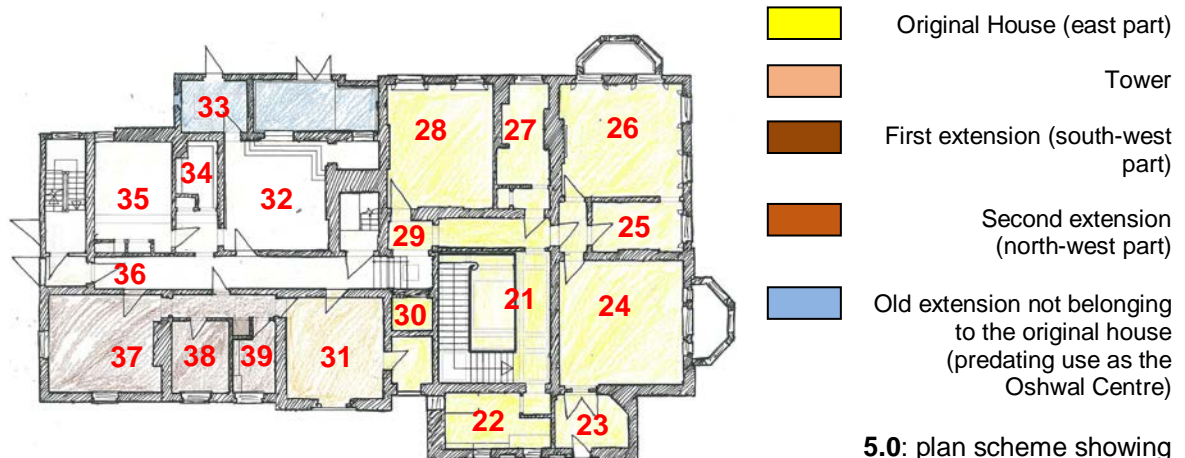
4.4 - sketch of the panelling based on 4.1



4.5 – example of wainscoting in a Georgian House (Peckover House)

First Floor (drawing 6842-76-P0)

- 5.12 The first floor presents a similar array of age and condition to the ground floor. This is illustrated by Figure 5.0. The original house comprises Rooms 21-30 inclusive arranged around the grand staircase, with Room 31 being the tower room, and the west wing divided by a central corridor in a similar format to the ground floor. The southwest part is the older, and comprises Rooms 37-39 inclusive, whilst the northwest part comprising 32, 34 and 35 is more modern. Room 33 and the adjacent balcony are the newest part of the House.



5.0: plan scheme showing dating and significance

- 5.13 In the east wing the intent is to clean, preserve and retain all the existing features without making any changes, and OAUK will be focussing refurbishment efforts only in the more recent west wing which are of significantly less heritage value. No original walls are to be taken down or altered, and the rooms proposed to be renovated have been affected by previous works. Few period features remain in this area of the House.
- 5.14 In accordance with the above, Rooms 21-26 inclusive and Room 29 will be cleaned, and all cracks discovered on the walls will be raked out and filled appropriately. The walls will then be repainted with the same colours. Any wooden decorative elements will be brushed and waxed in the traditional way to preserve the wood without altering the current appearance. **Overall there will be no change to the existing appearance.**



6.0 – (3914) –
First Floor Bathroom
Figure 5.0 Room 22



6.1 – (3920) –
Left: Detail of the
entrance to the
Library
Figure 5.0 Rooms 24-26

Right: Partial view of
Landing
Figure 5.0 Room 21

- a.** rake out occurring cracks;
- b.** repoint the plaster;
- c.** wax and maintain exposed timber fixtures and fittings



6.2 – (3921) –
Library
Figure 5.0 Room 24

Door leads to Storage
Figure 5.0 Room 23

- a.** rake out occurring cracks;
- b.** repoint the plaster;
- c.** wax and maintain exposed timber fixtures and fittings



6.3 – (3922) –
Library
Figure 5.0 Room 24



6.4 – (3926) –
Entrance Corridor to the
Library
Figure 5.0 Rooms 24-26

- a.** rake out occurring cracks;
- b.** repoint the plaster;
- c.** wax and maintain exposed timber fixtures and fittings



6.5 – (3928) –
Archive
Figure 5.0 Room 26



6.6 – (3932) –
Library Storage
Figure 5.0 Room 25



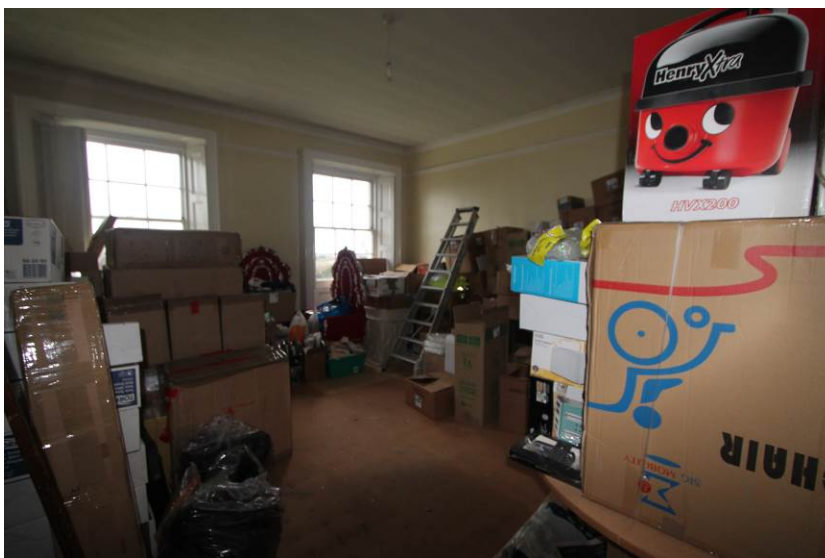
6.7 – (3935) –
Corridor to West Wing
Figure 5.0 Room 29

- 5.15 Two further rooms open along the corridor to the West Wing (Room 29). They are Rooms 27 (image 7.1) and 28 (images 8.1 and 8.2). Although these two rooms form part of the oldest part of the listed building they have previously undergone partial transformation by the previous owner.
- 5.16 The smallest room (Room 27) is now used as a storage space. However, there is some evidence including existing tiles and a waste water downpipe on the external elevation that indicate that in the past this room was used as either a bathroom or kitchen. In any case no original features remain.
- 5.17 The proposal seeks to return this space into use as a modest kitchenette for the preparation of hot drinks with a place for users to sit. It is proposed to reuse the existing external waste water pipework to join the drainage system.



7.0 – (3937) – Storage
 Figure 5.0 Room 27
 Presence of existing drainage and tiling indicates previous use as bathroom or kitchen and is ideal for kitchenette use

- 5.18 The second room (Room 28) is also currently used as storage. This room has undergone fewer obvious changes than Room 27 and retains most of its original features, such as the panelling around the windows, cornices and coving, its fireplace and mantle mirror.
- 5.19 It is proposed to retain all the original features including those mentioned above, to carry out any essential maintenance to the walls in terms of resolving cracks as is proposed for the other areas, and to convert the room to become a bedroom for disabled visitors, including an en-suite bathroom. The en-suite bathroom (see drawing 6842-76-P0) will be located along the interior wall between this room and the corridor (Room 29) to have the least impact on the original features, and the proposed bathroom suite will join the existing and proposed pipework in the adjacent proposed kitchenette, as discussed above, to minimise additional plumbing work.



8.0 – (3948) – Storage
 Figure 5.0 Room 28



**8.1 – (3950) –
Storage**
Figure 5.0 Room 28

- 5.20 At the end of the corridor (Room 29) there is an enclosed space now used as storage (Room 30) which was previously a functional elevator. The lift shaft and car are still in place and presumably date from either the 1950s or 1960s.
- 5.21 This application seeks permission to reinstall a lift on the same footprint. Currently there is no way for a mobility-impaired person to access the first floor, which precludes these persons from staying in the current accommodation or to access the library and archive.
- 5.22 The proposed lift would open onto the corridor (Room 29) at the same level as the proposed disabled bedroom (Room 28), the proposed kitchenette (Room 27) and the existing Library and Archive in the older part of the house without need for further intrusive works.



**9.0 – (3945) –
Corridor**
Figure 5.0 Room 29

Door to Lift Shaft
Figure 5.0 Room 30

- 5.23 The rest of the corridor comprising Room 29 will undergo to simple conservation works as set out in 5.14.
- 5.24 The corridor in the east wing (Room 29) is connected to the corridor in the west wing (Room 36) by a short staircase due to the difference in floor level between the older part of the listed building and the west wing.
- 5.25 The west wing corridor (Room 36) does not present any notable original features and it is proposed to make minimal changes to this room beyond the general cleaning and maintenance as proposed for the rest of the building.



10.0 – (3956) –
Corridor
Figure 5.0 Room 29
towards Room 36



10.1 – (3960) –
Corridor
Figure 5.0 Room 36

- 5.26 Oshwal House currently maintains four guest rooms on the first floor of the House. These are for the occasional use of visitors who come long distances to visit the temple and are currently arranged in two pairs accessed from the corridor labelled Room 36. Two of these rooms (32, 35) are on the north side of the corridor, Room 37 is part of the south side and Room 31 is part of the older Tower construction.
- 5.27 Each pair of the bedrooms are currently serviced by shower rooms (Rooms 34 and 39) and kitchenettes (Rooms 33 and 38) and the rooms are generally arranged around shared hallways adjacent to the corridor and separated from corridor Room 36 by a single door.
- 5.28 Rooms 38 and 39 appear to sit in the footprint of a former 'middle' room on the south side of the wing and are divided with more modern partition walls. Room 34 exhibits similar partitioning and Room 33 sits within the most modern previous extension to the north side.
- 5.29 Both Rooms 31 and 32 have small side rooms on their east wall, as shown in image 11.0 and 12.0. The original purpose of these rooms is unclear, possibly being dressing rooms or washstand areas, but they are currently used for storage.
- 5.30 None of the bedrooms or their ancillary facilities exhibit features of particular architectural significance. It is not proposed to remove any chimney breast or any original wall.
- 5.31 In Room 31, the 'tower' bedroom, it is proposed to close the existing door opening that connects the room to the current 'hallway' and make an opening directly from the corridor (Room 36). If investigations suggest there was previously a direct door from the hallway then we propose to restore that previous opening.
- 5.32 It is proposed to convert the small side chamber in the east wall of Room 31 into an en-suite shower room to serve Room 31. This will require no major alterations to the structure of the building. This chamber is directly above the existing disabled toilet on the ground floor, thereby reducing the extent of necessary plumbing work to connect with the existing sewerage system.
- 5.33 Following the relocation of the entry door the opening shall be made good and the whole room cleaned, any cracks occurring to be filled and the room painted to match its current appearance, and the new en-suite will be finished to a high standard. Timber fixtures will be finished appropriately to match the existing.
- 5.34 Room 39, currently the shower room serving Rooms 31 and 37, will be cleaned and refurbished. The modern partition separating Room 38 from the hallway will be removed and the combined space will become a bedroom, with room 39 becoming its en-suite. No additional plumbing will be required to achieve this.
- 5.35 Following the removal of the partition the kitchen fixtures, fittings and tiles shall be removed from the wall, which shall be made good and the whole room cleaned, any cracks occurring to be filled and the room painted and carpeted to match its current appearance. Timber elements will be finished appropriately to match the existing.



11.0 – (3968) –
‘Tower’ Bedroom
Figure 5.0 Room 31



11.1 – (3966) –
Hallway (southwest
side) looking
towards
Figure 5.0 Room 31



11.2 – (3977) –
Shower Room
Figure 5.0 Room 39



**11.3 – (3979) –
Kitchenette**
Figure 5.0 Room 38



**11.4 – (3983) –
Southwest Bedroom**
Figure 5.0 Room 37

- 5.36 It is proposed to close the existing door connecting Room 37 with the hallway serving Rooms 31,38 and 39 and open a doorway directly onto corridor 36 in a similar manner to Room 31, see our point 5.30.
- 5.37 It is proposed to erect a partition adjacent to the wall separating Room 37 and Room 39 and to create an en-suite shower room for Room 37 in that space. The proposed en-suite would be adjacent to the existing plumbing in Room 39 and would not require a long run of pipework to connect to the existing drainage system.
- 5.38 Following the erection of the partition the walls shall be made good and the whole room cleaned, any cracks occurring to be filled and Room 37 painted and carpeted to match its current appearance and the new en-suite will be finished to a high standard. Timber elements will be finished appropriately to match the existing.

- 5.39 In Room 32, the bedroom adjacent to the balcony, it is proposed to close the door through to the hallway linking Room 32 with Room 34 and 35 and open a door directly from the corridor Room 36, in a similar manner to Room 31 and 37 as stated above.
- 5.40 Room 33 is proposed to be converted from a kitchenette into an en-suite shower room for the use of Room 32. Due to the current use this will require minimal alterations to the current drainage system. Additionally, this room is conveniently located close to the pipework installed as part of the approved planning permission at the ground floor, reducing the impact of new plumbing.
- 5.41 The walls shall be then be made good and the whole room cleaned, any cracks occurring to be filled and the room painted and carpeted to match its current appearance and the new en-suite will be finished to a high standard. Timber elements will be finished appropriately to match the existing. No other work is required or proposed to these rooms.
- 5.42 It is proposed to retain the hallway adjacent to Room 35 as a vestibule space linking Room 35, the shower room (Room 34) and the corridor Room 36. No major changes will be required to this room. Room 34, currently the shower room serving Rooms 32 and 35, will be cleaned and refurbished and will become the en-suite serving Room 35. No additional plumbing will be required to achieve this.
- 5.43 Subject to the closing of the door between the hallway and Room 32, the walls shall be then be made good and the whole room cleaned, any cracks occurring to be filled and the room painted and carpeted to match its current appearance. Timber elements will be finished appropriately to match the existing.



12.0 – (3990) –
Balcony Bedroom
Figure 5.0 Room 32



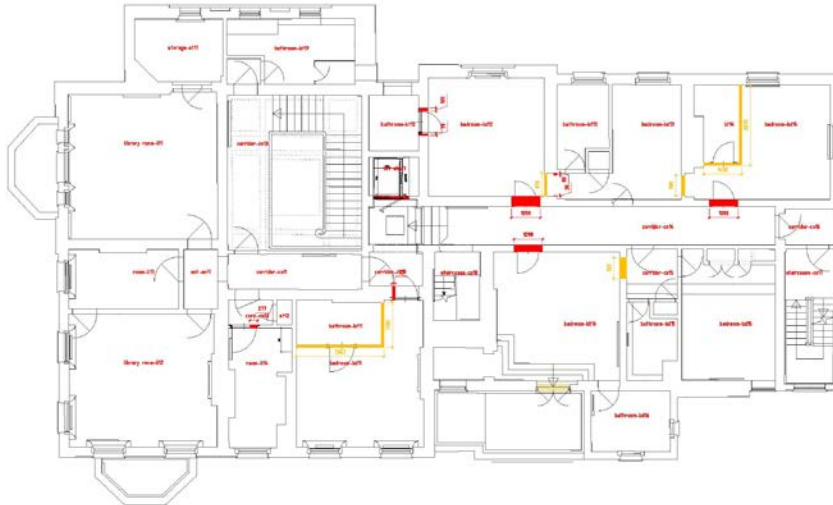
**12.1 – (4000) –
Kitchenette**
Figure 5.0 Room 33



**12.2 – (4004) –
Northwest Bedroom**
Figure 5.0 Room 35



**12.3 – (4011) –
Shower Room**
Figure 5.0 Room 34



12.4 –
Scheme of the works
affecting the first
floor

- a. red hatches** -
demolition to
open new
passages;
- b yellow hatches** –
construction of
new stud walls.

Second Floor

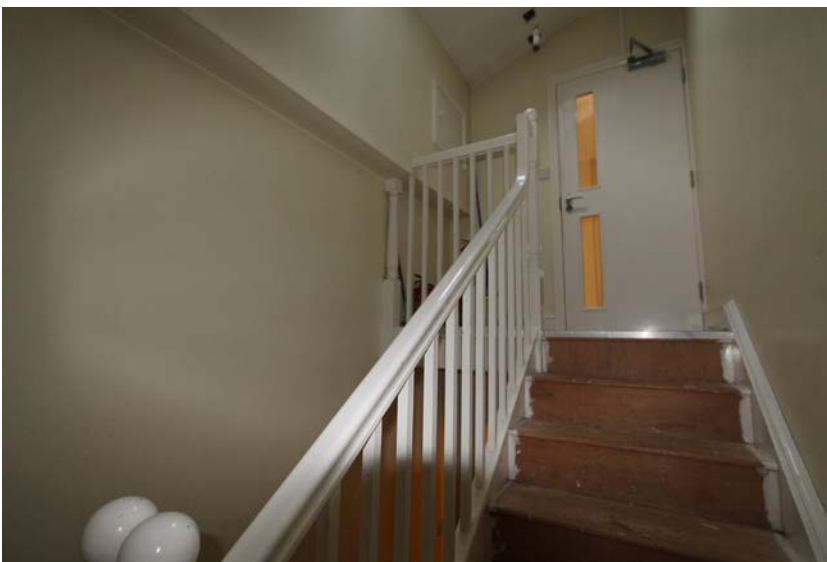
- 5.44 At the west end of corridor Room 36 is a modern addition comprised of a staircase connecting the priest's quarters on the second floor with the first floor and the west wing emergency exit at the ground floor. This staircase area will be cleaned, and all cracks discovered on the walls will be raked out and filled appropriately. The walls will then be repainted with the same colours. Any wooden decorative elements will be preserved to maintain the current appearance. **Overall there will be no change to the existing appearance.**
- 5.45 At the east end of corridor Room 36 is a staircase connecting the priest's quarters on the second floor with the first floor. This staircase area will be cleaned, and all cracks discovered on the walls will be raked out and filled appropriately. The walls will then be repainted with the same colours. Any wooden decorative elements will be preserved to maintain the current appearance. **Overall there will be no change to the existing appearance.**



13.0 – (4020) –
West end staircase
looking towards
First Floor



13.1 – (4021) –
West end staircase
looking towards
Second Floor



13.2 – (4024) –
East end staircase
looking towards
Second Floor

5.46 No refurbishment is required at the second floor.

Third Floor

5.47 The third floor of the tower is accessed from the second floor via a separate staircase and is used as the location of the House's water tanks. The staircase and tank room are in a dilapidated state as a result of previous water ingress and failures in the weatherproofing at the windows.

5.48 It is proposed to remove the tank, clean and make good all visible cracks. The walls will then be repainted with the same colours. Any wooden decorative elements will be preserved to maintain the current appearance. Improvements to the windows to improve weathertightness have been discussed as part of separate applications regarding the windows and roof tiles. **Overall there will be no change to the existing appearance.**



13.3 – (112758) –
Tank Room



13.4 – (112758) –
Tank room staircase

6.0 Conclusions

- 6.1 The proposals relate to the repair and refurbishment of Oshwal House. Most of the work proposed is limited to maintenance and decorating with more substantial work proposed in the least sensitive parts of the building.
- 6.2 The present proposal has been made with regard and reference to the previous applications and the established uses of The Hook House, now known as Oshwal House. This lengthy design process has, we believe, resulted in the best possible solution and offers a practical method to maintain and preserve the listed building without affecting its special character. The scheme seeks to improve the House so that it can effectively respond to the needs of its occupants the OAUK whilst retaining and conserving the architecturally significant features of the building.
- 6.3 The oldest parts of the house date from 1839 and exhibit late Georgian period features. This application seeks permission to maintain and preserve these rooms without alteration to the overall structure or appearance of the house.
- 6.4 The Bridge Rooms are in high demand and it is proposed to safeguard the existing walls from damage as a result of the daily activities of the community centre by the provision of wainscot panelling. The wainscot is an architectural feature with precedent in Georgian interiors, however the panels proposed are to be formed of a modern, hardwearing material to differentiate the new addition from the original wall. The wainscot would be affixed to the wall in such a way that it could reasonably be removed

in the future without causing damage.

- 6.5 On the first floor in Room 27 there is existing plumbing and evidence of a previous sanitary use. It is proposed to convert this room into a kitchenette with tea-making facilities to serve the bedrooms proposed in the other part of the house. This will have a negligible impact on the historicity of the building as no period features remain in that room.
- 6.6 It is proposed to convert the large storage room on the first floor back into a bedroom, which will be suitable for disabled persons. The historic features of the room, namely the chimney breast, in situ mirror, and coving will be retained without changes. It will be necessary to raise a partition for the creation of an accessible bathroom; however, this shall be positioned away from the features of interest and close to the existing plumbing in the adjacent room to minimise the impact of this work on the house.
- 6.7 To serve the disabled bedroom it is proposed to replace the existing lift with a suitable alternative to suit the existing shaft.
- 6.8 The majority of the works proposed are in the west wing of the house which is of substantially later construction and of lesser historical value.
- 6.9 Despite this, minimal works to the layout are proposed, consisting only of forming 3no. new doorways in the existing partitions, the closing of 3no. existing doorways, the removal of 1no. partition and the erection of 1no. partition.
- 6.10 The proposed en-suites have been located concurrent with or adjacent to existing pipework wherever possible to minimise the impact of installation on the existing walls of the house.
- 6.11 No major works are proposed to the staircases or second floor work beyond the general maintenance proposed to be carried out throughout the rest of the house. In the third-floor tower room similar maintenance only will be undertaken.
- 6.12 The layout changes and rationalisation of the west wing first floor rooms will allow Oshwal Centre to offer more comfortable accommodation to visitors travelling long distances to visit the nationally and internationally important temple.
- 6.13 We believe that the scheme proposed strikes the right balance between preserving the original and special character of the oldest part of the House and allowing the Oshwal community to contribute to the story of the building. The proposed maintenance is necessary to prevent the interior of the House from falling into greater levels of dilapidation and the works to the newer and less architecturally significant wing will allow the Oshwal community to benefit from their stewardship of this building. We feel that this statement and supporting information justify the proposal which preserves and enhances the existing listed building.