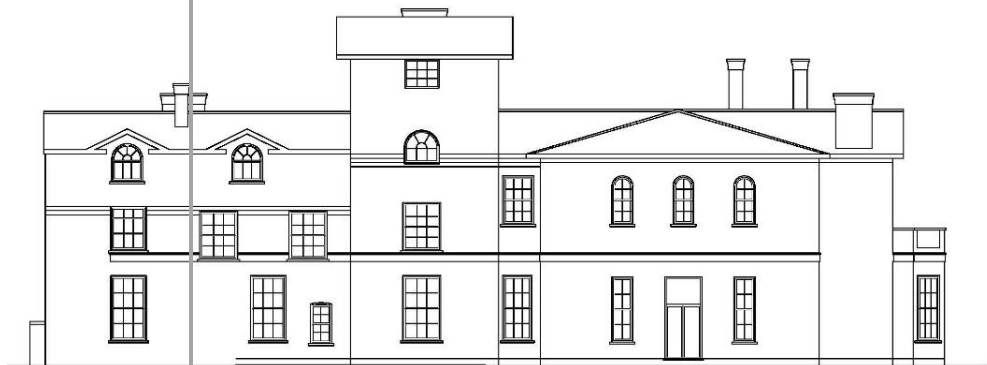




Unit 27, Cygnus Business Centre
Dalmeyer Road, London, NW10 2XA Tel.
020 8451 7833

For and on behalf of
Oshwal Association of the UK

**Details pursuant to Condition 1 and 2
(part) of a Full Application, reference
6/2016/0995/FULL and Listed Building
Consent 6/2016/0347/LB for an Erection
of a single Storey Rear Extension and
Internal Alterations at Oshwal Centre
Coopers Lane Road Northaw Potters
Bar EN6 4DG.**



15 April 2017

Prepared by:

Naba Bati

Checked by:

Paolo Lancerotto

Saloria Architects Ltd

Contents:

1.	Introduction	page 3
2.	Description	page 3
3.	Details pursuant to conditions	page 3
4.	Appendix A	Decision notice to application for conditions ref.6/2017/2912/COND
5.	Appendix B	Report on render by Mike Wye Ltd
6.	Appendix C	Drawings

Saloria Architects disclaims any responsibility to the client and others in respect of matters outside the scope of this report. This report has been prepared with reasonable skill, care and diligence. Saloria Architects accepts no responsibility of whatsoever nature out of the scopes of this report.

1.0 Introduction

- 1.1 Saloria Architects has been engaged by the applicant, Oshwal Association in the UK to prepare the following Assessment which includes the details pursuant to Condition 1 and 2 (windows and external doors part) of a Full Application reference 6/2016/0995/FULL, dated 9 June 201 and approved on the 5 July 2017, and Listed building consent reference 6/2016/0347/LB, dated 6 April 2016 and approved on the 5 July 2017, for an Erection of single storey rear extension and internal alterations at Oshwal Centre Coopers Lane Road Northaw Potters Bar EN6 4DG.

2.0 Description

- 2.1 **Condition 1** – No development shall take place until samples of the materials to be used in the construction of the external surfaces of the building hereby granted have been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented using the approved materials and subsequently, the approved materials shall not be changed.
- 2.2 **Condition 2** – Details of any new windows, roof lights, link glazing and doors hereby approved must be submitted to and approved in writing by the Local Planning Authority prior to commencement of the works. The details submitted must include 1:20 scale elevations; 1:2 scale sections (doors and windows only); an annotated plan showing the location of each proposed item; brochure details (roof lights only); as well as appropriately scaled movement joint details between the glazed link and the existing house. The larger scale details must include part of the surrounding fabric. Subsequently, the approved materials shall not be changed.

3.0 Details pursuant to conditions

3.1 Introduction

- 3.1.1 The proposal seeks to respond to condition 1 and 2 (the part referring to windows and external glazed doors and render).

The intention is to show that they could be discharged before the commencement of the works.

3.2 Condition 1

- 3.2.1 The render for the proposed rear extension shall be traditional external rendering specification by MIKE WYE & ASSOCIATES LTD (see Appendix B).

3.2.2 The external doors for the proposed rear extension shall be bespoke design using timber frames.

3.2.3 The windows for the proposed rear extension shall be bespoke design using timber frames.

3.2.4 The following drawing No.6842-38-P0 and drawing No.6842-39-P0 will include the materials.

3.2.5 The materials, listed above and shown below, are provided in samples at the site.

Material Samples:



Traditional external rendering specification by MIKE WYE & ASSOCIATES LTD (see Appendix B)



Bespoke design for timber framed doors and windows – (Sample for the outlook of the material)

3.3 Condition 2

3.3.1 The proposal seeks to respond to condition 2.

The intention is to show that it could be discharged before the commencement of the works.
The following drawing No.6842-41-P0 will include the details required.

3.3.2 Details of new windows and doors shall be found in drawing No.6842-41-P0.

3.3.3 1:20 scale elevations will be found in drawing No.6842-38-P0 and No.6842-39-P0.

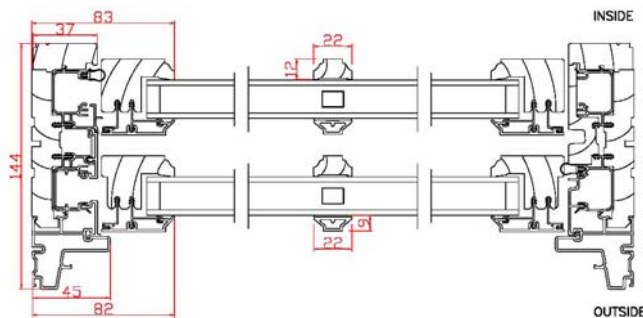
3.3.4 1:2 scale details (doors and Windows only) will be found in drawing No.6842-41-P0.

3.3.5 A previous application was submitted to respond to this condition (see ref.: 6/2017/2592/COND. Objections were raised to the details submitted for the windows and doors as they would not be slim-profile, double-glazed and would have surface-mounted glazing bars. As such, the proposed windows and doors would not be in keeping with the character of the listed building.

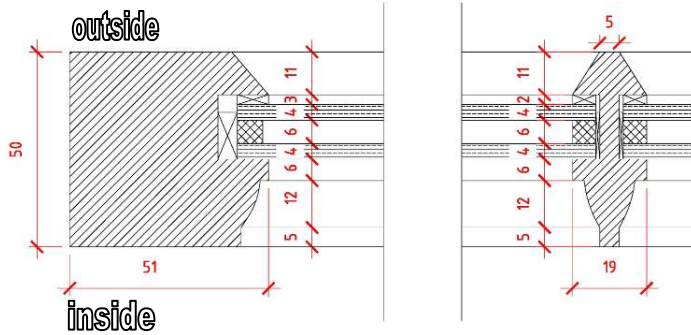
3.3.6 To respond to those previous concerns it has been opted for timber frame sash-windows and doors. They will be single glass panes with traditional muntin and not surface-mounted glazing bars.

3.3.7 The panes will be slim line double glazing (4-6-4) to replicate the slim profile of the existing windows as well as trying to reach the right rate of sound passage, protection from impact, insulation and U-value according to the Building Control Approved Document Parts E, K and L.

3.3.8 The following two images show the differences between the type of window proposed in the previous application for condition, ref.: 6/2017/2592/COND (image above) and the present application for the same conditions (image below).

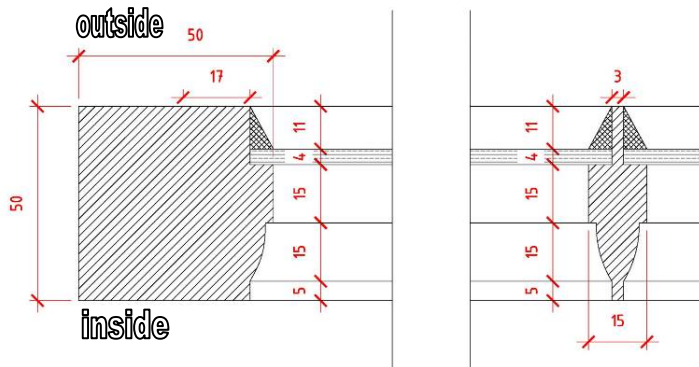


Sash window frame in composite material (timber and aluminium) object of the application for conditions ref.: 6/2017/2592/COND (image not in scale).

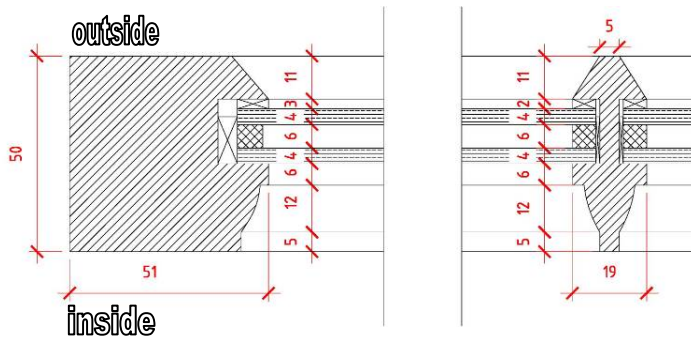


New proposed section of the thin line timber frame and the muntin (4-6-4) (image not in scale).

3.3.9 The following images show there will be no particular difference in details between muntin, compared to the existing sash windows. The shape of the frame and the muntin will be the same. The minor differences are due to the different obligations under policies within the Building Control Approved Document Part K.



Existing section of the frame and the muntin (image not in scale) (abstract of details from the survey and drawing attached to application 6-2018-0136-LB).



Proposed section of the thin line frame and the muntin (4-6-4) (image not in scale).

Appendix A - Decision notice to application for conditions ref.6/2017/2912/COND

Mr L Vekaria,
Saloria Architects,
Unit 22,
Cygnus Business Park,
Dalmeyer Road,
London,
EN6 4DG

Colin Haigh
Head of Planning

Reply To: address as below
Our Ref: 6/2017/2912/COND
Direct Tel: 01707 357211
Fax: 01707 357253
Email: planning@welhat.gov.uk

21 February 2018

Planning (Listed Buildings and Conservation Area) Act 1990.

Dear Mr Vekaria,

RE: 6/2017/2912/COND – Submission of details pursuant to conditions 1 (material samples), 2 (details of new windows, roof lights, link glazing and doors) 3 (details of eaves, parapets, verges, abutments and chimney stack), 4 (details of cast iron rainwater goods) on listed building consent 6/2017/2594q/LB at Oshwal Centre, Coopers Lane Road, Northaw, Potters Bar, EN6 4DG.

Thank you for your recent application in connection with the discharge of the above conditions.

Condition 1 (Samples of Materials)

This condition is as follows:

“No development shall take place until samples of the materials to be used in the construction of the external surfaces of the building hereby granted have been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented using the approved materials and subsequently, the approved materials shall not be changed.”

You have supplied a Planning Statement and Drawings 6842-39-PO giving the following information and samples:

Roof – natural slate (sample submitted) SSQ Del Carmen ultra-grade (or similar)
Walls – rustication built up by cement, white lime render coating– Sample not submitted.

Roof

The slate roof material is acceptable pursuant to this Condition. I trust you will comply with the final sentence of this condition, which requires the development to be carried out in accordance with the approved details.

Render

With regard to the rusticated render for the walls of the extension, details have not been supplied. However, it has been agreed that, as it is difficult to source samples of render, a sample shall be

provided on site for inspection by the Local Planning Authority and details resubmitted further to this condition. Please note that you would undertake commencement of development at your own risk with regard to these details. However, Enforcement action is unlikely to be taken subject to render details being submitted and agreed when they are available.

Condition 2 (Materials - Enhanced Details)

This condition is as follows:

“Details of any new windows, roof lights, link glazing and doors hereby approved must be submitted to and approved in writing by the Local Planning Authority prior to commencement of the works. The details submitted must include 1:20 scale elevations; 1:2 scale sections (doors and windows only); an annotated plan showing the location of each proposed item; brochure details (roof lights only); as well as appropriately scaled movement joint details between the glazed link and the existing house. The larger scale details must include part of the surrounding fabric. Subsequently, the approved materials shall not be changed.”

You have supplied the following information

Windows and Doors: Drawing Number 6842-41-PO and 6842-39-PO

Link Window Sample submitted from Marvin Architectural - grey matte metal frames

Link Glass – tinted light grey (sample submitted)

The Planning Statement shows the following information:

Rooflights: conservation from VELUX (matte grey frame)

Link Glazing: GLAZING VISION

Link Windows

The glazing and frames for windows in the link (as per submitted sample of grey metal frame and tinted glass) are acceptable.

Windows and Doors to Extension

However, they have objected to the details submitted for the windows and doors as they would not be slim-profile, double-glazed and would have surface-mounted glazing bars. As such, the proposed windows and doors would not be in keeping with the character of the listed building and the details are not considered acceptable. In addition, details of the proposed material for the windows and doors has not been submitted.

Roof-lights

Brochure details of the roof-lights have been submitted. However, section drawings are requested showing how the roof-lights would sit within the roof-scape.

Condition 3 (Eaves and Parapet Details)

This condition is as follows:

“No development shall commence until 1:5 scale details of the eaves, parapets, verges, abutments and chimney stack have been submitted to and approved in writing by the Local Planning Authority. The detailed mouldings should be modelled on classical details found in the historic parts of the house or based on C18th or C19th pattern books. Subsequently the details shall be implemented and shall not be changed.”

You have supplied the following information:

Drawing Number 6842-40-PO

The details submitted are considered sufficient for Condition 3 to be agreed. I trust you will comply with the final sentence of this condition, which requires the development to be carried out in accordance with the approved details.

Condition 4 (Materials - Black Rainwater Goods)

This condition is as follows:

“All visible rainwater goods must be made of cast-iron, in accordance with details, which have been submitted to and approved in writing by the Local Planning Authority before any development commences. Subsequently, the development shall not be implemented and retained other than in accordance with the approved details.”

The Planning Statement shows the following information:

Rainwater Goods: Apex Heritage in black

The details submitted are considered sufficient for Condition 4 to be agreed. I trust you will comply with the final sentence of this condition, which requires the development to be carried out in accordance with the approved details.

Condition 5

This condition required development to be completed in accordance with the approved plans. This condition is not dischargeable.

Summary

The details submitted for Conditions 3 and 4 are acceptable.

The details submitted for condition 1 (Materials) with regard to the roof are acceptable subject to the development being carried out in accordance with these details. With regard to the rusticated render for the walls of the extension, details have not been supplied. However, it has been agreed that, as it is difficult to source samples of render, a sample shall be provided on site for inspection by the Local Planning Authority and details resubmitted further to this condition.

The details submitted for condition 2 are acceptable with regard to the windows in the link section but not for the roof-lights, windows and doors in the extension. You will need to submit further details in line with the above comments in order to satisfy this condition.

Please do not hesitate to contact me if you have any questions or require further information.

Yours sincerely

June Pagdin
Senior Development Management Officer

Appendix B - Report on render by Mike Wye Ltd

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Beaworthy
Devon EX21 5RN

Office 01409-281644
Fax 01409-281669
VAT number 631 4670 54

May 18th, 2017

Mr Tushar Shah
Oshwal Association of the UK
Oshwal Centre
Coopers Lane Road
Northaw
Hertfordshire, EN6 4DG

Tel : 020 8451 7833

email : p.lancerotto@saloria.co.uk

Our ref: C1705OshwalHouse

Oshwal House

Dear Mr Shah,

Further to my visit, I have included my report on my findings for Oshwal House.

As you know, we specialise in the repair of traditional cob and stone buildings. We produce all our own lime mortars, lime plasters and limewash using the finest quality Buxton quicklime and hence have total control over the quality of lime mortars and limewash used for rebuilding, rendering, plastering, pointing and limewashing. We rebuild and repair cob, stone and brick walls with these traditional materials and have a dedicated team tackling a variety of projects from entire rebuilds and barn conversions to specialised polished plaster finishes such as Venetian marble plaster and Moroccan tadelakt. Please visit our website for comprehensive information about our projects and products.

Prior to this century building techniques were very different to those practised today. Traditional buildings benefit in a number of ways from using lime putty based renders and plasters as opposed to hard impervious cement-rich renders and modern gypsum plasters;

- their porosity allows the structure to breathe rather than trap moisture
- their elasticity helps to accommodate general movement, reducing cracking
- their self-healing nature reduces cracking problem
- stone masonry pointed with lime mortar allows moisture to evaporate from the joints, rather than the masonry, reducing frost and salt crystallisation damage
- a limewash finish protects the render whilst allowing moisture to evaporate rather than become trapped behind a modern acrylic or impermeable skin

Technical Report

Oshwal House is a detached building dating back as early as early 1839. Formerly known as The Hook House it is a tuscan style villa, painted stucco and slate roof. The building has had a number of extensions over the years to the rear. The building sits on gently sloping ground from South to North and West to East.

The external elevations are generally a mixture of older renders which are lime based, newer lime renders and cement-rich renders, often patch repaired. Some areas of render have ashlar lines and some are a trowelled finish but all are decorated with a non breathable modern acrylic paint.

There are a number of hairline cracks and more substantial cracks in the render, with evidence that the render has lost its bond to the substrate in areas. The cracks can allow rain to ingress into the substrate and this can raise moisture levels in the adjacent areas which have effectively sealed surfaces. With any moisture ingress these external surfaces effectively act like a plastic bag around the building, increasing the risk of condensation on inner surfaces and interstitial condensation within the walls and pushing any rising moisture in a solid wall construction both inwards and upwards.

There was no evidence of any structural movement indicated by any major external or internal cracking, although the balcony renders on the East elevation looks to be unsafe and should be made safe as soon as possible.

If the external renders are removed in order to replace them with more breathable lime renders and mineral paints its possible that the underlying stone/brick walls may well be shown to be in need of some structural repairs and any timber lintels over doors and windows will tend to rot a little quicker if moisture is concentrated in them.

The main problem is that any areas of cracking that are apparent in the older renders, any piecemeal approach is impracticable. Its not good practice to have different types of render and paint on the same elevation as moisture would be trapped behind the junctions and there would be a propensity to cracking there due to differential movement. In addition the aesthetic appearance would be harmed as the newly rendered lime plasters and mineral paints would contrast with the existing. The same issue applies where an adjoining elevation can be seen of course. Contrary to what many would think, there would be no structural risks in removing the renders to all of the elevations and re-rendering at the same time. This is common practice so that the renders can be as continuous as possible without junctions at corners and it removes the risk that removing renders at different times can involve damage to any existing renders due to vibration or structural rebuilds that are required.

Of course, where the existing renders are of a thickness and composition that they may be load bearing in any given location then an appropriate risk analysis should be undertaken to ensure that any render removal is undertaken as safely and with as little risk of structural damage as possible.

Penetrating rain will generally occur where there is either a specific defect in the external envelope eg cracked render, poor leadwork, failing rainwater goods, defective pointing in bare stone or brickwork etc or where the amount of water that the wall receives in a prolonged wet spell is greater than the capacity of the wall to absorb it. It can manifest itself a little distance away from an actual defect depending on the thickness of the walls and the nature of the substrate.

In the case of Oshwal House the existing renders and paints will tend to reduce rain ingress if intact but once cracks open up the rain can/has entered the substrate and become trapped.

Internally, and especially in the main entrance there were signs of efflorescence, though some walls may be plastered in gypsum based plasters which are more vulnerable to moisture than lime plasters. The signs of dampness were in correlation to the cracked renders externally, faulty guttering and any ill fitting windows or doors.

Recommendations & Methodology.

The main questions to each elevation are:

1. How urgent are the render repairs in terms of the existing cracking and hollowness and the propensity for rain ingress ?
2. How detrimental are the existing renders/paints to the walls ?
3. Can elevations be undertaken individually as a whole or as piecemeal repairs. Will best practice and aesthetics require a more comprehensive approach, depending on budgets etc?

South Elevation (Front)

The front elevation has a mix of historical lime renders – Stucco, Ashlar lines, trowelled finish and more recent lime renders with possible cement rich piecemeal repairs. The areas of Stucco have delaminated considerably with water ingress through cracks in the renders. There is also cracking between old and new renders where differential movement has occurred. These cracks have also suffered from water ingress and frost damage delaminating the renders from the wall. The trade off is whether to apply new renders or to keep the historical renders in situ where they are sound, repairing any cracks and maintaining for years to come at considerable cost, causing further and substantial substrate damage due to the dampness trapped behind the renders.

Ultimately, the renders have been coated over the years with limewash and more recently non breathable acrylic paint. To piecemeal repair the renders on this elevation will only cause further degradation of the substrate to this building. My recommendation, not just for the health and longevity of the building but to improve aesthetics would be to completely remove the old and more recent renders on this elevation, repair any issues in the substrate caused by moisture ingress and replace with a traditional lime putty render with added pozzolans.

West Elevation

The West elevation will almost certainly see the worst of the wet weather that we are increasingly seeing in today's climate. The rear aspect of this elevation is an extension to the original building constructed of brick and is mostly unrendered. The areas that are rendered are lime based renders and show evidence of water ingress in cracks over vulnerable areas such as between the bottom of windows positioned above window lintels below.

As above, this elevation has been painted over the years with a non breathable acrylic paint which is detrimental to the health of the building and trapping any moisture behind the renders. My recommendation, would be to remove the renders and apply a seamless render to the rest of the building. The painted brickwork can either have the non breathable paint removed which may cause considerable damage to the brickwork or rendered to create a seamless render around the whole building.

North Elevation

The North elevation has a mix of historical lime renders on the mainhouse, more recent lime renders on the extension to the North West and cementitious renders to the 1950's lean to. There is a number of areas that have high levels of moisture trapped behind the non breathable renders with substantial delamination occurring. Again, this elevation is suffering from water ingress that cannot escape from behind the non breathable paints that have been applied over the years. My recommendation would be to remove the renders and apply a seamless lime putty render and breathable paint along with the other elevations.

East Elevation

Typically, due to not seeing the worst of the British wet weather the east elevation seems to be in the best condition. The plinth at the bottom of the elevation is showing signs of water ingress and

frost damage as is the balcony above. The renders are in relatively good condition with minor hairline cracks that need repairing immediately. The issue is that the same non breathable paint has been applied to this elevation over the years and the renders are no longer breathable being detrimental to the substrate of the building. My recommendation would be in order to create a seamless render over the whole of the building and of course for aesthetic reasons, is to remove the renders and apply a lime putty render and breathable paint.

Summary

It is extremely difficult to sometimes weigh up which is more important. The historical renders of a building or the health of the building that the renders are there to essentially protect. Had a maintenance program been in place over the history of the building with the correct paint applied there would be every justification to just carry out essential repairs. However, in my opinion the renders and the paint are now contributing to the degradation of the building and would justify being removed and reinstated. Removal of just the paint would prove as costly as a new render and would more than likely weaken or damage the old render to beyond repair.

I've set out below the specifications for replacing the external render for each of the main elevations

Option 1. Traditional external lime rendering specification for the work is :

1. remove the existing render - removal and waste disposal
2. apply a harled coat of Secil Consolidation mortar to get a key to the wall
3. apply sufficient scratch coats of haired lime render to achieve a suitable surface
4. apply a float coat of unhaired lime render to achieve the contours of the walls required.
This can be left as a relatively smooth floated/sponged finish

Lime putty mortars for plastering and rendering are based on mixtures of our own mature lime putty with a coarse sand. Harling coats are made to a wetter consistency to allow hand harling on the wall. All external coats apart from the harled coat typically have a pozzolan added. This is a calcined clay used to accelerate the set whilst carbonation of the lime proceeds more slowly over the months and years.

Backing coats of lime render have added horse hair. Apart from the harling coat which is usually ready in 1-2 days, the subsequent coats of lime plaster or render take at least a week between coats to cure sufficiently for the next coat to be applied.

Option 2 . EcoCORK external lime rendering specification for the work is :

1. remove the existing render – removal and waste disposal
2. apply a harled coat of Secil Consolidation mortar to get a key to the wall
3. apply a doubled up scratch coat of Secil ecoCORK with an embedded glass fibre mesh.
4. apply a float coat of Secil ecoCORK
5. apply a finishing coat of Secil finish mortar which is a sponge float finish

The harling coat is typically ready to render onto after 1-2 days.

The scratch coat of Secil ecoCORK will take 3-5 days to cure before applying the ecoCORK float coat. This is left to cure for a few days before the finishing render coat is applied.

Ideally the final render coat is left to cure for several days before being painted.

External Paint

Either limewash or a mineral silicate paint can be used. Limewash typically needs four coats to cover but is a very cheap paint. Mineral silicate paints cost more but only need three coats.

They offer a similar appearance to limewash, are only slightly less porous but considerably more water repellent and so more protective. Silicate paints typically last longer when applied to a suitable substrate. This can be important for elevations that are difficult to decorate without the expense of scaffolding. A silicate paint, although matt, would match more closely the appearance

of any retained paints as they don't mottle as much as limewash due to their greater water repellency.

Chemical Analysis

Chemical analysis of the renders is not required in my opinion unless the Conservation Officer particularly wants further analysis. The existing renders are lime renders of different periods, some applied well and more recent renders applied poorly.

Planning etc

The proposed works will require appropriate planning and listed building consents from the local council, from whom advice should be sought in advance of any work commencing and any necessary approvals given in writing.

I hope this covers everything but if I've missed something or require any questions answering, please do contact me at your convenience.

Yours sincerely

Mark Rees

Conservation Team Manager

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Appendix C - Drawings

GENERAL NOTES

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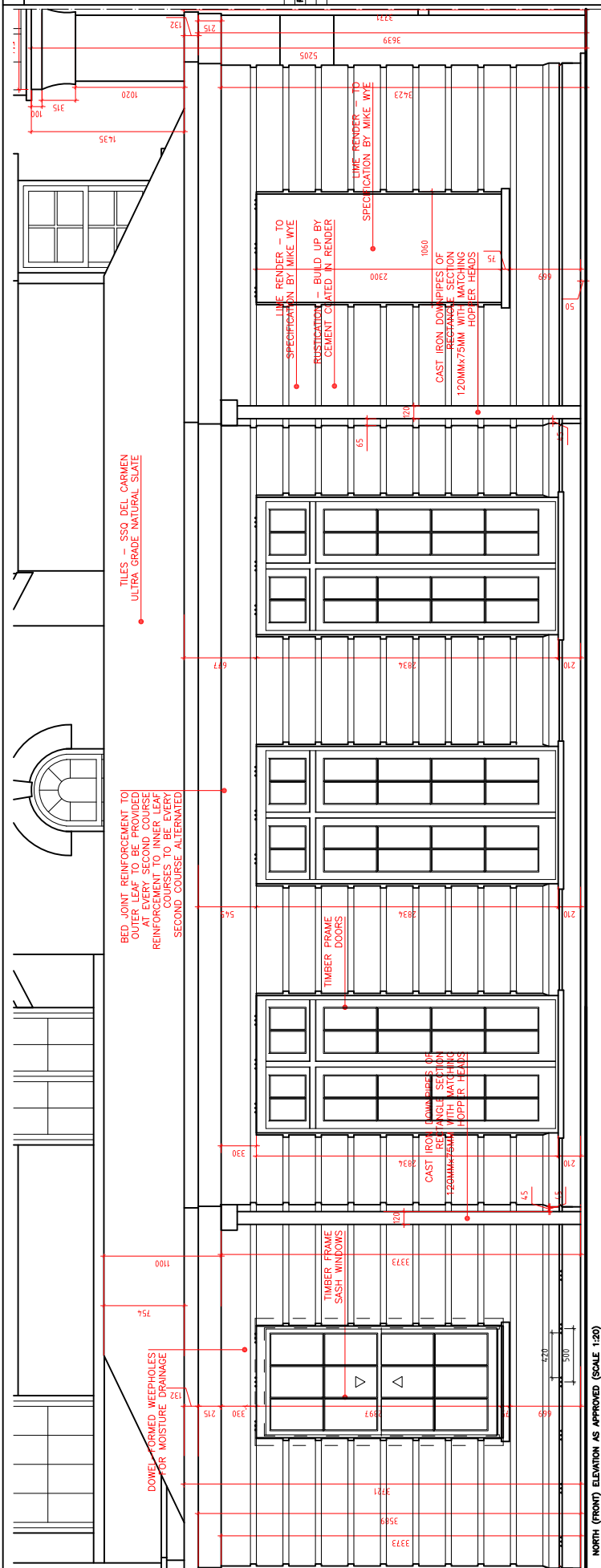
All dimensions to be checked on site and any discrepancy to be notified to the supervising officer.

No dimension to be scaled from the drawings for construction purposes. All dimensions are to be taken from the face of the work unless otherwise stated. All dimensions are to be taken from the face of the work unless otherwise stated.

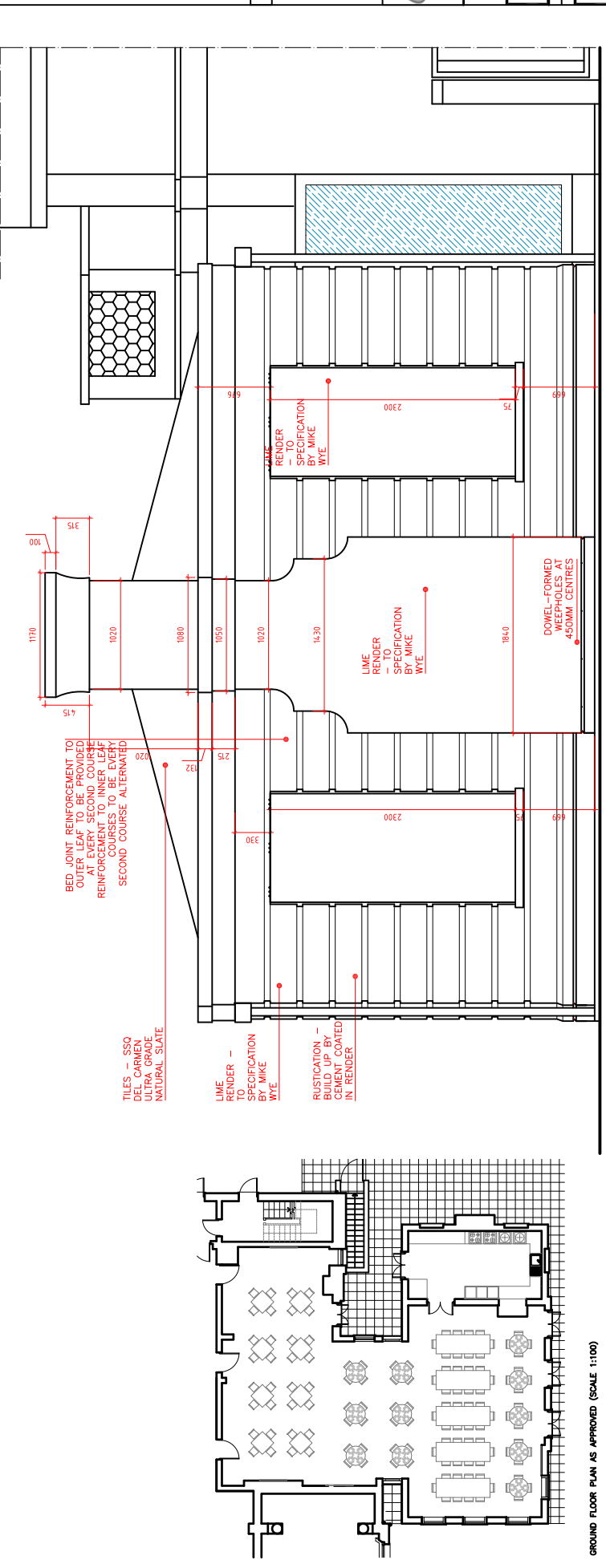
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The sole purpose of this drawing is the procurement of Planning Permission for the proposed works. It is not to be used for construction purposes. It is the contractor's responsibility to ensure that all work is carried out in accordance with the Building Regulations 2010, Part 9, 9.1, 9.2, 9.3, 9.4, 9.5, 9.6, 9.7, 9.8, 9.9, 9.10, 9.11, 9.12, 9.13, 9.14, 9.15, 9.16, 9.17, 9.18, 9.19, 9.20, 9.21, 9.22, 9.23, 9.24, 9.25, 9.26, 9.27, 9.28, 9.29, 9.30, 9.31, 9.32, 9.33, 9.34, 9.35, 9.36, 9.37, 9.38, 9.39, 9.40, 9.41, 9.42, 9.43, 9.44, 9.45, 9.46, 9.47, 9.48, 9.49, 9.50, 9.51, 9.52, 9.53, 9.54, 9.55, 9.56, 9.57, 9.58, 9.59, 9.60, 9.61, 9.62, 9.63, 9.64, 9.65, 9.66, 9.67, 9.68, 9.69, 9.70, 9.71, 9.72, 9.73, 9.74, 9.75, 9.76, 9.77, 9.78, 9.79, 9.80, 9.81, 9.82, 9.83, 9.84, 9.85, 9.86, 9.87, 9.88, 9.89, 9.90, 9.91, 9.92, 9.93, 9.94, 9.95, 9.96, 9.97, 9.98, 9.99, 10.00.

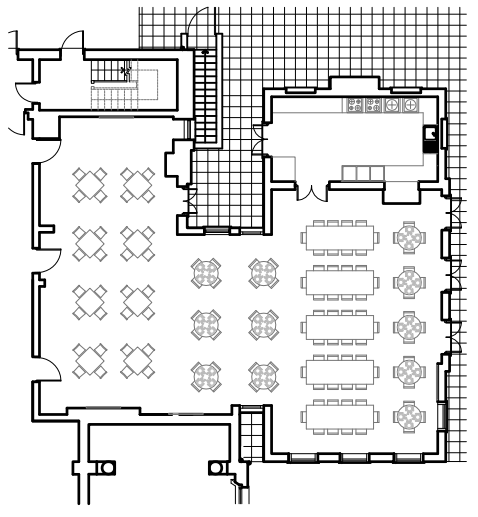
REVISION	DESCRIPTION	BY	DATE
P1	preliminary issue	PL	15.04.16



NORTH (FRONT) ELEVATION AS APPROVED (SCALE 1:20)

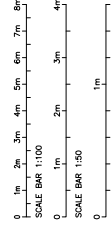


WEST (RIGHT SIDE) AS APPROVED (SCALE 1:20)



GROUND FLOOR PLAN AS APPROVED (SCALE 1:100)

PLANNING



Saloria House - SSSE
 SALORIA HOUSE AND REAR
 EXTENSION EXISTING AND PROPOSED
 PLAN AND ELEVATION

DATE: 21-08-17
 DRAWN BY: LV
 CHECKED BY: LV
 PROJECT NO: 6842-38-P1

GENERAL NOTES

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All dimensions to be checked on site and any discrepancy to be notified to the supervising officer.

No dimension to be scaled from the drawing for construction purposes. All dimensions are to be taken from the finished work. Building Regulations including amendments work is Part 2002.

Party Wall Act 1996 and 1998 would apply and contractor is to ensure that no work is commenced until this formality is completed.

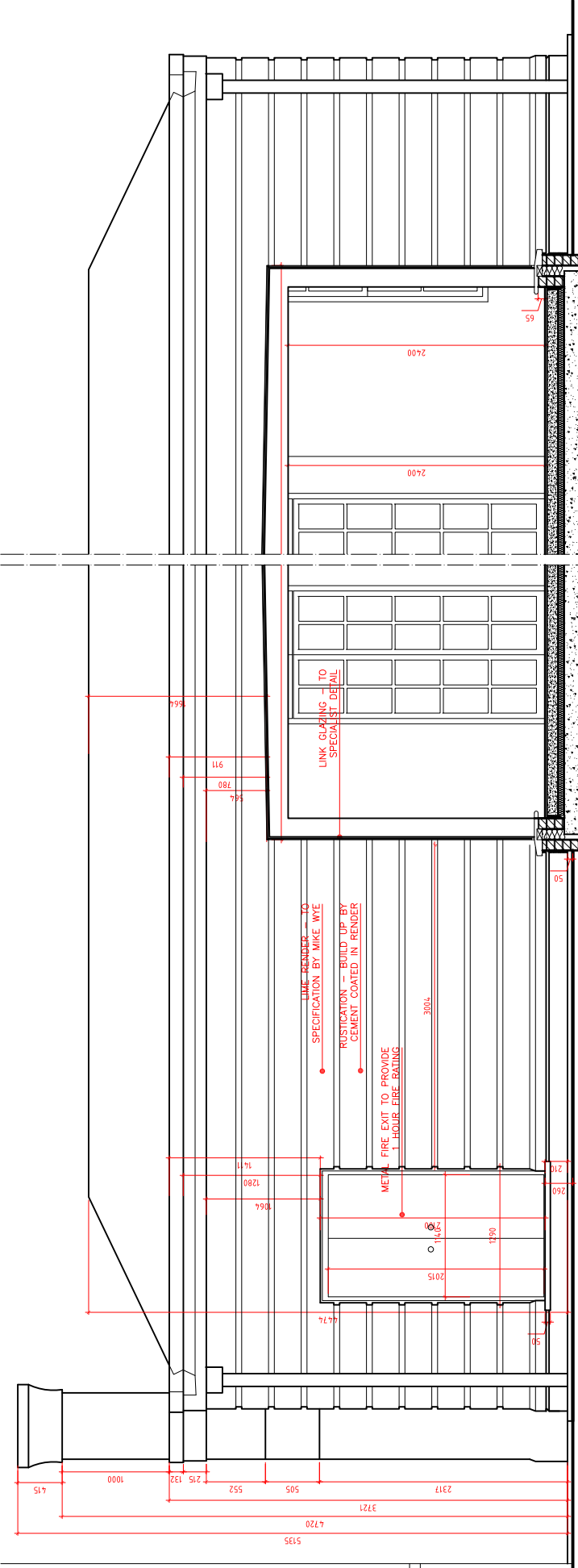
The sole purpose of this drawing is the procurement of Planning permission for the proposed extension and work is NOT to be used for construction purposes.

When this drawing is used for the works, contractor should request as the line of location from the neighbour. Full specification of materials and finishes to be used in the extension and works in conjunction with the drawings would be used to receive planning permission.

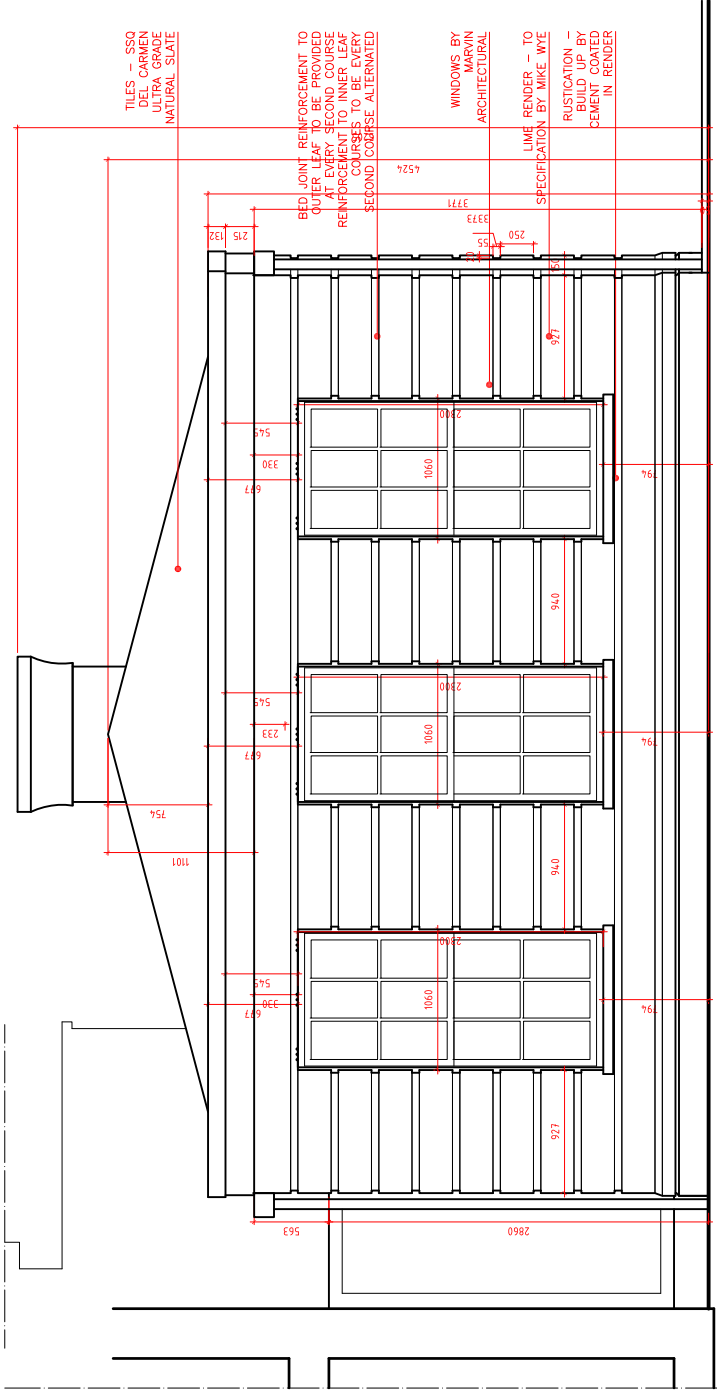
When any building is used for the works, full specifications should be agreed with the engineer to include Heating, Plumbing & other services where required.

Contractor to ensure and verify himself that necessary Planning permission and appropriate approvals are obtained before starting or commencement of work.

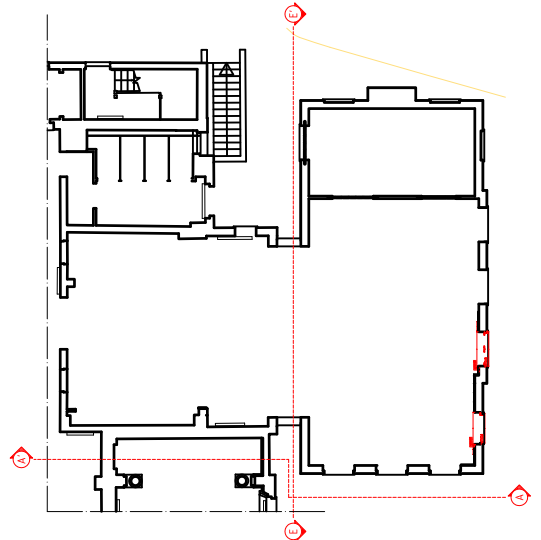
REVISION	DESCRIPTION	BY	DATE
PO	preliminary issue	ZD	05.01.15
P1	per current conditions	PL	09.04.18



SOUTH (REAR) ELEVATION AS APPROVED (SCALE 1:20) (SEE SECTION E'E)

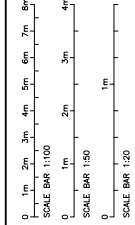


EAST (LEFT SIDE) AS APPROVED (SCALE 1:20) (SEE SECTION A/A)



GROUND FLOOR PLAN AS APPROVED (SCALE 1:100)

PLANNING



Olived House - SSSE

EXISTING HOUSE AND REAR EXTENSION EXISTING AND PROPOSED PLAN AND ELEVATION

DATE: 21-08-17

SCALE: 1:100 - 1:200(A1)

PROJECT NO: 6842-39-P1

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All dimensions to be checked on site and any discrepancy to be notified to the supervising officer.

No dimension to be scaled from the drawings for construction purposes. Dimensions are to be taken from the finished work in accordance with Building Regulations including amendments made in April 2022.

Party Wall Act 1996 and 1998 would apply and contractor is to ensure that no work is commenced until this formality is completed.

The sole purpose of this drawing is the procurement of Planning Permission for the proposed work. It is not intended to be used for construction purposes. The contractor should refer to the drawings for the work to be undertaken and the specifications in conjunction with the drawings would be used to receive the work.

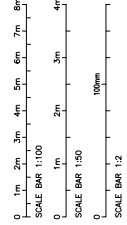
Where this drawing is used for the work, contractor should refer to the drawings for the work to be undertaken and the specifications in conjunction with the drawings would be used to receive the work.

Where any ambiguity is noted for the work, all specifications should be agreed with the engineer to include Heating, Plumbing & other services where required.

Contractor to ensure and verify himself that necessary Planning Permission and Building Regulations approval are obtained before commencing or commencement of work.

REVISION	DESCRIPTION	BY	DATE
PO	preliminary issue	JD	21.03.17
PI	preliminary conditions	PL	09.04.18

PLANNING



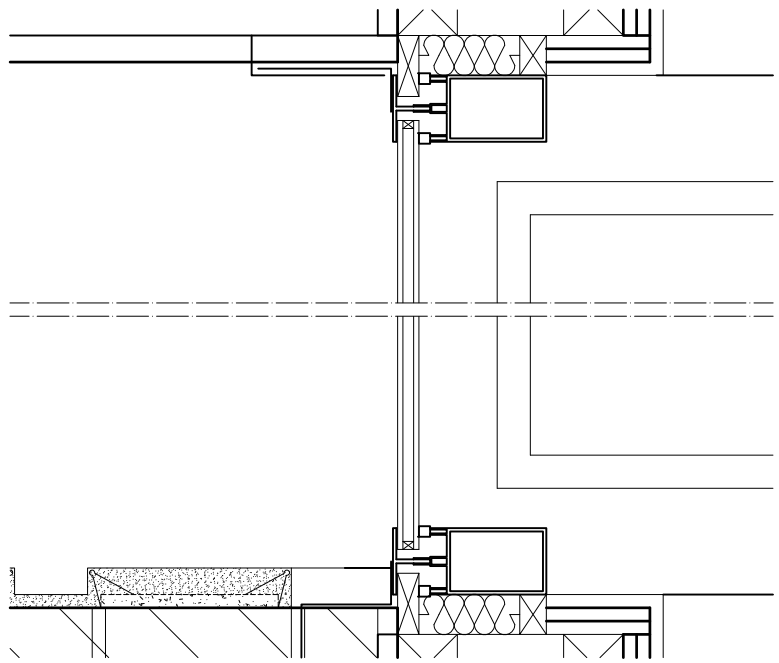
Orwell House - SSRE

EXISTING HOUSE AND REAR EXTENSION EXISTING AND PROPOSED PLAN AND ELEVATION

DATE: 21-03-17

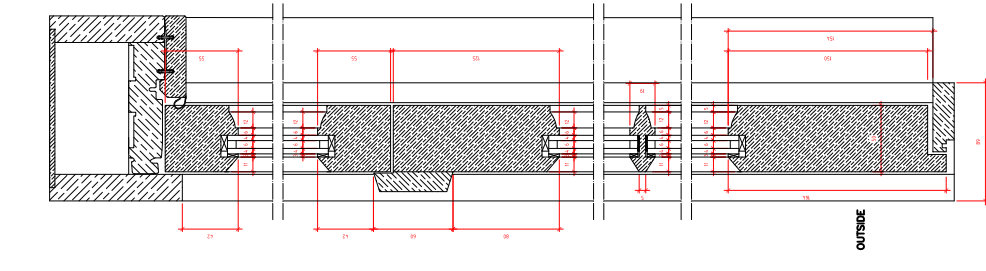
SCALE: 1:50 - 1:200

NO. 6842-41-P1

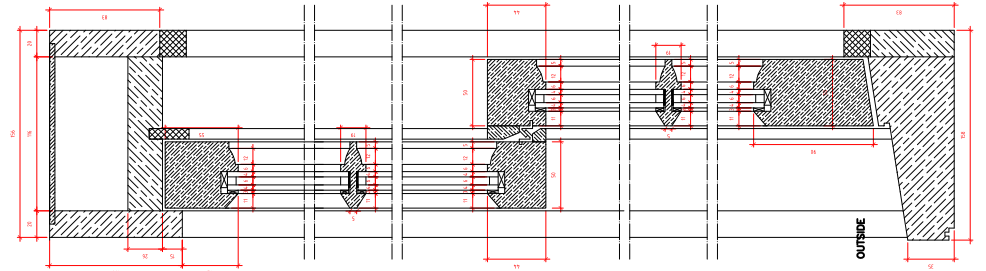


LINK PANES DETAIL 5 (SCALE 1:2)

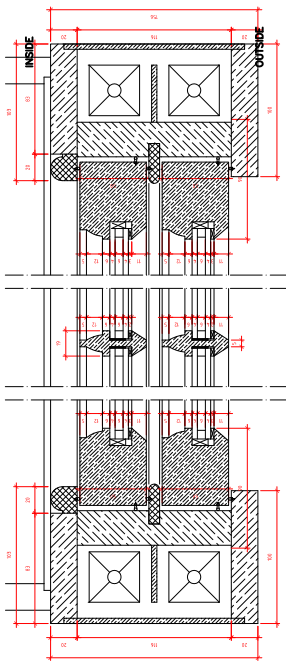
LINK PANES DETAIL 6 (SCALE 1:2)



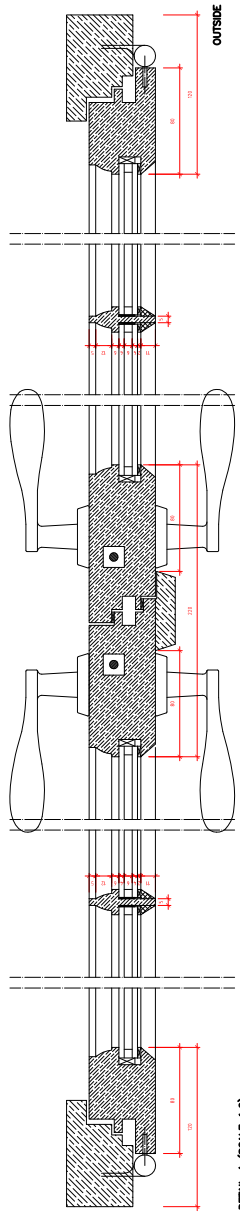
DETAIL 3 (SCALE 1:2)



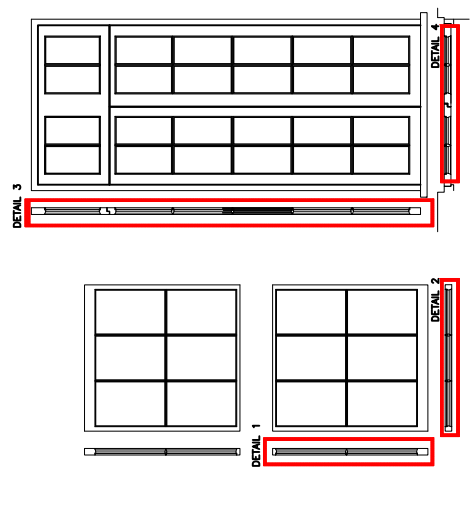
DETAIL 1 (SCALE 1:2)



DETAIL 2 (SCALE 1:2)

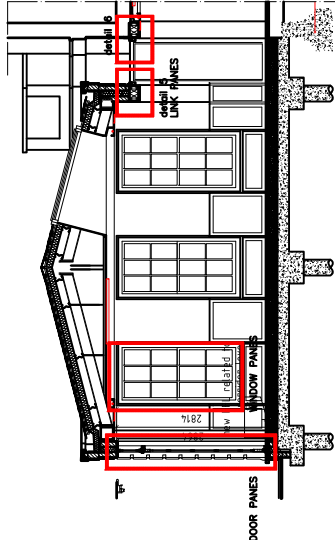


DETAIL 4 (SCALE 1:2)

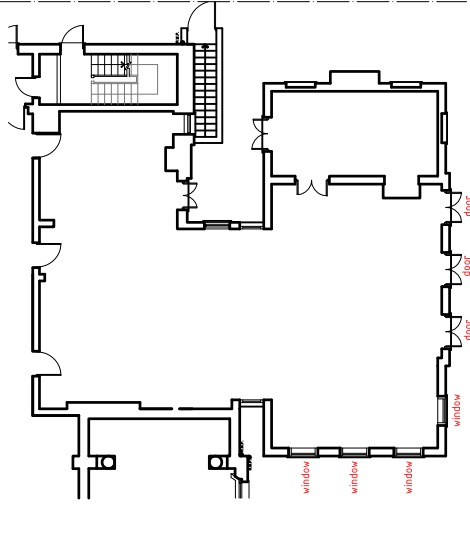


WINDOW PANES (SCALE 1:20)

DOOR PANES (SCALE 1:20)



SECTION BB' (SCALE 1:50)



GROUND FLOOR PLAN AS APPROVED (SCALE 1:100)