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For and on behalf of
**Oshwal Association of the
UK (OAUK)**

Heritage Statement

**Oshwal Centre,
Coopers Lane Road
Northaw EN6 4DG**



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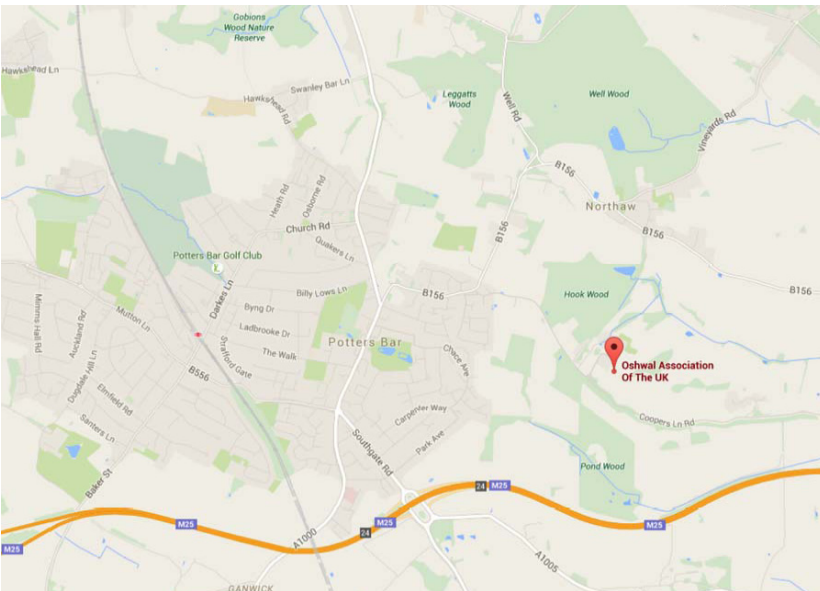
1.0 Introduction

Background

1.1 Saloria Architects has been engaged by the applicants, Oshwal Association of the UK (OAUk) to prepare the following Heritage Statement to accompany a Listed Building Application for the repair of Oshwal House (formerly known as The Hook House) a Grade II Listed Building, and specifically in respect of a proposal to replace all the windows in the listed building. This Statement is provided to show the analysis of the historic fabric so as to ensure that the historic importance of the building is preserved and enhanced as a result of the proposal.

Site location

1.2 The subject site is located on the north side of Coopers Lane Road. The principal elevation of the existing building is orientated towards Coopers Lane Road. For a more detailed description of the site and its context, see Site Description and Context



location of the Oshwal Centre

2.0 Description

Site Description and Context

2.1 This Statement refers to Oshwal House, which is part of the Oshwal Centre located on Coopers Lane Road, Northaw. It is therefore located in the southern part of the District where it is accessible from the principal town of Potters Bar. Whilst located in the open countryside, the Oshwal Centre comprises a range of established buildings and is adjoined by a residential enclave known as Firs Wood Close.



the Oshwal Centre

Building Description

2.2 The building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) for its special architectural or historic interest. The listed description of the building is as follows:

THE HOOK HOUSE

List Entry Number: 1173884

Location: THE HOOK HOUSE, COOPER'S LANE

OS GRID REFERENCE: TL2787501280

OS GRID COORDINATES: 527875, 201280

LATITUDE/LONGITUDE: 51.6957, -0.1512

The building may lie within the boundary of more than one authority.

County: Hertfordshire
District: Welwyn Hatfield
District Type: District Authority
Parish: Northaw and Cuffley
Postcode: EN6 4NF

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 06-Feb-1952

Date of most recent amendment: Not applicable to this List entry.



the Hook House

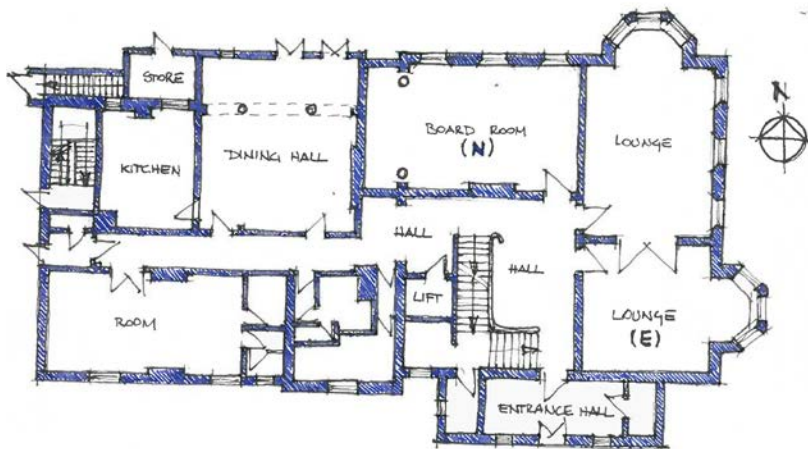
3.0 History & Heritage Significance

- 3.1 The listing describes the property known as The Hook House stating that it dates from 1839 and that it is an asymmetrical Tuscan-style villa showing influence of Loudon's Encyclopaedia. The full listing is appended.
- 3.2 All the walls of the building are in painted stucco under a slate roof. The building is divided into three main parts with the right wing comprising of a two-storey gable end building, the left forming a three-storey wing and the centre encompassing a four-storey gabled tower with a relief arch to the first and second floors. On the ground floor of the right wing, on the front elevation, there is rusticated banding and a recessed central door with an arrow flanking windows and three round-headed first floor windows with intermediate blanks.



front (south) elevation of
Oshwal House

- 3.2 The east and central elevations have left hand canted ground floor window bays; the east elevation is marginally different with a slightly gabled projection. A floor band and wide eaves canopy is replicated all over the building. All the windows within the property consist of recessed sash windows. Within the building, there is a large, open, early C18 staircase said to have come from Gobions House (another manor near Potters Bar, demolished 1838). Each tread has iron twist, barley twist and fluted balusters. The sides with acanthus scrolls. The internal Walls also have C18 Flemish tapestries. E ground floor room has Adam style husk and foliage friezes, and N room has C17 style panelling with alcove on the west wall, flanked by fluted Doric columns (Pevsner, 1977).



(N) the Board Room
(E) the East Lounge

ground floor plan of
Oshwal House in its
present form

All the above information is drawn from:
<http://www.britishlistedbuildings.co.uk/>
<http://list.historicengland.org.uk>



east elevation of Oshwal
House



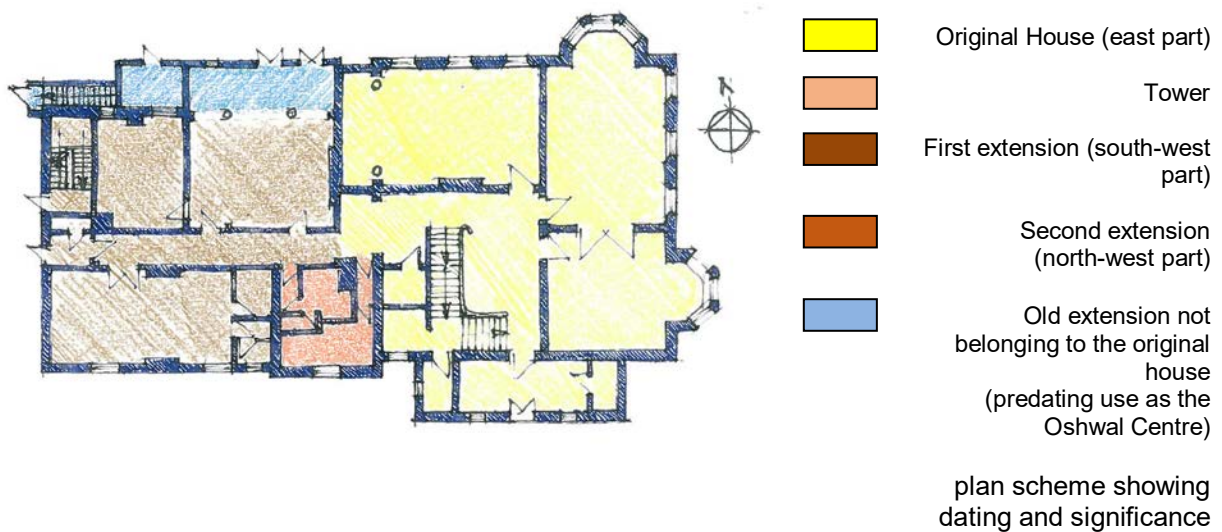
rear (north) elevation of
Oshwal House



west elevation of Oshwal
House

- 3.3 There are three main areas of significance, which break down the original House into key (ground floor) elements which are described on the analysis plan below:
1. Lobby and entrance hall, community lounges and board room
 2. Offices and bathrooms;
 3. Dining room, kitchen and staircases
- 3.4 In addition, there is a fourth area described in the diagram below as the “old extension” which added an area to the north west of the building, thereby removing the step in the rear façade and creating a small gable at first floor level. This extension predates occupation by OAUk and contains:
4. small extension to the dining room and store.

3.5 The below sketch map notes the importance of elements of the composition. It is clear that whilst of differing ages and purposes the 4 areas above are essential to the understanding and evolution of the building. It seems appropriate that the less important area (hatched blue) had been approved to be annexed to a larger extension which, although it demonstrates the changing nature of the House through time, can also enhance the uses without affecting the original House in any way (architecturally structurally or technologically). Looking in more detail, it is clear that the “old extension” has features similar to the original building although it also has modern elements (e.g.: u-PVC windows). The photo above and the schemes below show the aforementioned extension to rear of the house including the inappropriate detailing of the french doors (serving the dining room) and the poor-quality structure comprising the kitchen store and stairwell.



The schemes below show dating and significance of the building and consequently of the render





- Original House (east part)
 - Tower
- east elevation scheme



- Original House (east part)
 - Tower
 - Second extension (north-west part)
 - Old extension not belonging to the original house (predating use as the Oshwal Centre)
- north elevation scheme



- Original House (east part)
 - Tower
 - First extension (south-west part)
 - Second extension (north-west part)
 - Old extension not belonging to the original house (predating use as the Oshwal Centre)
- west elevation scheme

4.0 Heritage Significance

- 4.1 Planning permission has previously been granted for the extension of Oshwal House. It has therefore been acknowledged in principle that the setting and importance of the House is not compromised by the proposed extension with the form and character remaining as existing.
- 4.2 The original part of Oshwal House is a two-storey building. The main entrance elevation is divided into a ground floor with rustication and a two-pane-wide window either side of the door recess. At first floor, three Romanesque arched windows and two false window arches sit within a slight recess with a floor band above and below. The elevation terminates as a gable end, creating the impression of a neo-classical pediment.

The east elevation features a partial gable, off-centred to the left-hand side, upon which sits a single-storey bay consisting of three windows at ground floor level, with a decorative parapet at first floor level. Three windows, a three-pane-wide central window flanked by a single-pane-wide window each side, sit in a similar recess to the entrance elevation, overall creating a similar appearance to the south elevation part. The rustication to the south elevation is visible on the return wall of the entrance gable, to the left-hand side of the partial gable, but does not continue onto the partial gable itself or anywhere else on the east elevation. To the right of the partial gable the original house continues, consisting of three large windows to the ground floor and three to the first floor, generally aligned and separated by the floor band and ceiling band which continue the full width of the elevation. The right-hand part terminates in a hipped roof.

On the rear elevation there is another single-storey bay of three windows, similarly offset to the left of centre as the east elevation, with a decorative parapet with a honeycomb panel design. To the right of this at the ground floor three windows roughly equally punctuate the wall. At the first floor five windows are spaced regularly, to align with the three windows at ground floor level, continuing the pattern above the parapet. The floor and ceiling band continue the full width of the original elevation without interruption, and the roof structure terminates in hipped corners at both ends.



original house: front elevation (south)
of Oshwal House



original house: east elevation of
Oshwal House



original house: rear elevation (north)
of Oshwal House

- 4.3 The tower and the south west wing are a somewhat later addition to the original house, probably added in the later Victorian Period after the main house was substantially complete. The tower is a four-storey, gabled structure on the south elevation with no decorative features to the ground floor, and one three-pane-wide, four-pane-tall window centrally located. The subsequent windows above are aligned with this, comprising another three-pane-wide, four-pane-tall window at the first floor, a three-pane-wide Romanesque arched window above that which is roughly at the level of the adjacent eaves, and a three-pane-wide three-pane-tall window at the top level. The first and second floor windows are slightly recessed in a similar manner to the original house (with the top of the recess mirroring the arch of the window), and some decorative recessing to the top storey.

To the left of the tower the south west wing is comprised of three storeys and a variety of

window types. On the south elevation mostly these are of similar appearance to the ground floor of the tower, except for a small ancillary window at the ground floor, and the two small arched windows at the third floor, which sit in small breaks in the eaves line which appear as partial gables or dormer windows in the hipped roof. The windows are set at different levels relative to each other, and whilst the three windows at the far left are roughly vertically aligned with each other, the others are not.

The floor band from the original house at first floor level runs the full width of this wing, and the ceiling band from the eaves of the original house runs to and includes the tower, but is not present on the southwest wing itself. An additional band runs roughly halfway between the 'first floor' band and the eaves of the southwest wing. However, due to the presence of a third storey in a similar building height to the original house it is clear that the bands do not accurately mark the floor levels, as they are broken either in full or in part by the windows at the first-floor level. Aesthetically, this has resulted in a somewhat more chaotic appearance compared to the rest of the house, which we consider to be of a lower value to the Tuscan style in which the house was conceived.

On the west elevation, some of the order is restored, as the windows align to each other and generally mirror the arrangement of windows at the left-hand side of the south elevation, including the partial gable to the arched window at the second floor, and the banding which is broken by the first floor window.



southwest wing and tower: front elevation (south) of Oshwal House



southwest wing: west elevation of Oshwal House

- 4.4 The final part of the house is the northwest wing, which encompasses several later additions to the original and southwest wing. This wing has very little in common with the oldest part of the house, and appears to have already been subject to a number of additions and alterations prior to its occupation by OAUk, to the extent that many of the original openings have been lost. These have been replaced by side hung or top hung casement windows at a variety of levels leading to a very chaotic appearance. One partial gable similar in form to those of the southwest wing is present on the north elevation, though the window within it does not feature the same Romanesque arch. Floor bands are partial on the north elevation but missing entirely on the west elevation and closer reflect the levels of the southwest wing than the original house.

It is of particular note that in this part of the house, there is no stucco in some areas: the cream-coloured paint common with the rest of the building has been applied directly to the brickwork, the grain of which can still be seen.

Attached to the main part of the north elevation is the C 20 'old extension', which predates the OAUk occupation. This consists of a part single storey, part two-storey addition including a modest roof terrace at first floor level which is accessed by glazed French doors which mimic the newer side-hung windows in style and appearance. The two-storey part terminates in a gable, under which sits an arched window with a prominent lintel and keystone in a style which is not replicated anywhere on the original house or the extensions. Beneath this is a small window of two pane by four panes, which features a shallow curve that is likewise unique amongst the windows of the rest of the building. Also at the ground floor sit two further pairs of french doors which open out onto the adjacent patio. These are of similar design to the french door to the balcony above, but feature semi-circular fanlights of similar design to the arched windows in other parts of the house.

On the west elevation, the northwest wing terminates in a full gable, and the windows at first and second floor level are side-hung style in-keeping with the rest of the wing but very different in style to the original house. The two half-glazed doors at the ground floor

are of a more humble domestic style than the expected of a manor house and are not a good reflection of the age and status of the original house.

4.5 It is considered that there is greater scope to alter or replace these elements entirely because:

- (i) they are less significant due to their later age, and
- (ii) little remains of the original forms especially on this northwest aspect where the original structure has already been impacted by changes to the plan form of the building.

4.6 It is considered that providing any proposed works respect the character of the building, seeking only to alter those parts that are not part of the original fabric and remain subservient to the main house, or that have become necessary for the overall preservation of the house, they should have negligible impact on the understanding of the building or its overall historic value. Indeed, the opportunity arises to materially improve the appearance and integrity of the building with sensitive choices of materials and detailing.



northwest wing: rear elevation (north)
of Oshwal House



northwest wing: west elevation of
Oshwal House

5.0 Elements of the refurbishment

Archaeological survey

5.1 The proposed works do not affect any potential interest of archaeological value.

Repairs and external refurbishment

5.2 The proposed refurbishment aims to make good the external walls and preserve the appearance of the house for the future. The existing plaster will be replaced by rendered plaster to replicate the materials found on site.

5.3 The roof will be preserved. Permission to replace defective tiles was granted by application 6/2016/1600/LB, on 05 July 2017, subject to approval of details.

5.4 The same permission also granted the replacement of defective chimney pots, subject to approval of material details. The chimney stacks require the same replastering and finishing to match the rest of the external walls as detailed below.



detail of the existing plaster damaged by water ingress



detail of the existing plaster damaged by cracks



detail of the existing exterior sills to be repaired

Replacing the windows.

Existing situation

- 5.5 At time of writing all the timber window frames are in a poor condition. This is principally due to the decay of the timber exacerbated by high levels of moisture, which appears to be caused by some structural defects and is in turn affecting surrounding areas. In many cases, as illustrated in the photos above, the wall adjacent to the timber is suffering from damp. In other cases, we have found water pooling on the timber itself. These problems have been heightened by the damaged paint finishes on the timber which has allowed the frame itself to absorb excessive moisture.



detail of the existing plaster damaged by water ingress, which has caused the timber to decay



detail of the external part of the window frame damaged by water ingress



detail of the existing window frames damaged by water ingress, fungus and rot.

- 5.6 Water ingress into the timber has led to the spread of moulds, timber fungi and root rot which means the level of repair or restoration action would be tantamount to replacement, and therefore cannot be considered an appropriate course of action. Although the proposed general external refurbishment will certainly remove the source of the dampness by the replacement of the defective render, the decay of the frames is at a level at which any chemical treatment may not be effective at halting further decay where existing timber might possibly be retained.
- 5.7 In addition to this situation that the most timber frames are not viably repairable, our detailed analysis also leads us to consider that replacement windows would greatly improve the capacity of the house to function as the national headquarters of OAUUK, a religious organisation and charity with concern for matters of sustainability, and in terms of energy efficiency. The decision to propose a general replacement of all the windows has been taken considering two major aspects:
- The general look and appearance of Oshwal House – there is always a difference, which must be avoided, between how an old and repaired window looks compared to a new window.
 - The overall average level of energy efficiency and energy saving that is desirable for the building to achieve, both from the financial impact of high running costs on the Oshwal community and for the overall consideration of sustainability and energy conservation.
- 5.8 It was therefore concluded that a mixed approach, of old windows repaired where at all possible and new windows installed where not, would have an ineffective result in preserving a consistent and aesthetically respectful appearance to the building than would be obtained by the complete replacement of all fenestration. A piecemeal approach would also compromise any gains in terms of energy efficiency and energy saving. Several alternative methods of window insulation were considered in accordance with the written guidance from Historic England, however due to the recessed position of the windows it is not viable to incorporate secondary glazing or replace the original glass without causing irreparable harm to the appearance and function of the window

internally. Simply draughtproofing and filling gaps, whilst lauded in the Historic England guidance, would not solve the underlying problem caused by long term moisture damage.

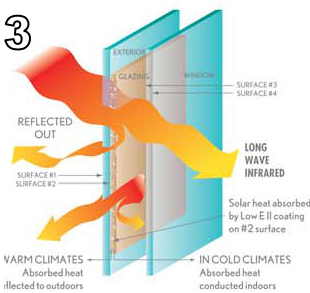
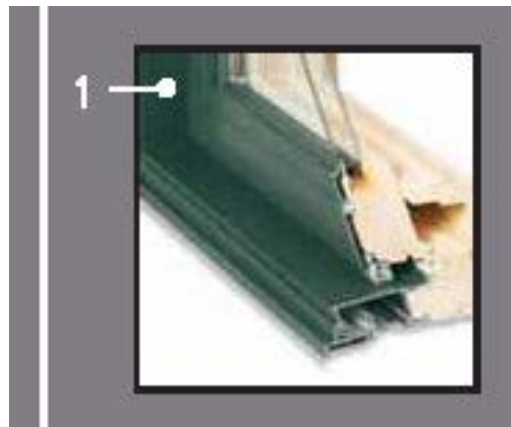
5.9 In the interest of preserving the appearance of the windows at close quarters as well as a distance, it will be necessary to seek replacements from specialist manufacturers with experience of listed building constraints, such as Marvin Architectural who conducted a survey and have prepared a report for this application. Proprietary systems for double glazed systems replacing historic single glazed windows normally have painted aluminium frames. This allows the design of slim-line systems that can fit within the depth of the staff bead of a typical sash window, so shutters and window sills can be retained. Systems with more substantial framing sections are stronger and can accommodate seals, fixings and counterbalancing. The systems may use an aluminium outer frame fitted to a softwood ground or seasoned hardwood surround depending on the design and fixing details. The suppliers of these systems provide design, manufacture and installation services.

Type of proposed new windows

5.10 The proposed new windows respond to the above-mentioned points both in terms of appearance and energy efficiency. It is proposed to specify a double-glazed unit with a double metallic coating to block heat loss to the outside while allowing the highest levels of solar heat into a room, providing year-round performance and comfort with better protection against radiant heat transfer than a double-glazed unit with either none or a single metallic layer.



Specially Glass



1. detail of the cross section of the replacement glazing.
2. the glazing bars are combined with spacer bars installed between the glass, creating the essence of authentic glazing bars.
3. diagram to show the different level of solar heat.

- 5.11 The proposed windows and doors shall be coated in paint mixed with Kynar 500, a chemical which bonds to the aluminium giving an ultra-smooth finish which results in this product **looking like a painted timber window or door**.
- 5.12 The typical U-value for a single glazed window or door is 4.5 W/m². The aim would be to achieve a U-value of around 1.5 W/m². This form of unit therefore achieves the sustainability and operational cost objectives.
- 5.13 In addition to the previous points, the finishing and base materials are guaranteed against any form of cracking, fading or discolouration for many years and are effectively maintenance free. Given the institutional nature of the ownership and use of the building this is regarded to be an important consideration, as the OAUK is dependent on membership subscriptions and donations for its funds for maintenance works. The proposed windows would allow the OAUK to redirect funds which would otherwise be needed simply to maintain the building, back into its community support programme without jeopardising their responsibilities as stewards of this listed building.
- 5.14 The most important consideration is acknowledged to be that the proposed replacement windows should replicate the look of the existing. The type of solution proposed has been already used in some Victorian Houses (around 1890), and can be also seen at properties at a development in Vauxhall, London, in which they have been used successfully to replicate the previous appearance.
- 5.15 In order to assure that there is no distinguishable visual change that will arise from the proposal, a detailed photographic survey has been made to record and provide a base line for the work.



view of the Victorian House
with a detailed view of the new
window



Victorian house - general
view of the neighbouring
windows and the
comparison between new
windows and old windows



Victorian house - general
view of the neighbouring
windows and the
comparison between new
windows and old windows



development in Vauxhall,
London in which they have
been used successfully to
replicate the previous
appearance



development in Vauxhall,
detail of the new windows

6.0 Conclusions

- 6.1 The present proposal has been made with regard and reference to the previous applications and the established uses of The Hook House, now known as Oshwal House. This lengthy design process has, we believe, resulted in the best possible solution and offers a practical method of maintain and preserve the listed building without affecting its special character. The scheme seeks to improve the House so that it can effectively respond to the needs of its occupants the OAUK whilst preventing further damage and water ingress that have affected their ability to make full use of the building.

Replacing the windows and doors with appropriate alternatives will preserve it for future generations by ensuring that it continues to provide a national headquarters for the Oshwal Community whilst also ensuring it is well maintained. Without the proposed changes the building would remain in a poor, dilapidated state, prone to an accelerated rate of deterioration and furthermore it would remain an expensive building both in terms of its maintenance and its energy efficiency.

- 6.2 We believe that the scheme proposed strikes the right balance between minor intrusive works and the wider benefit of ensuring better sustainability as a building which justifies the works that are necessary. We feel that this statement and supporting information justify the proposal which preserves and enhances the existing listed building.