

Eisai - European Knowledge Centre

Link Extension to the Existing Building

July 2020

Design and Access Statement

Quality information

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Revision History

Revision	Revision date	Details	Authorized	Name	Position
P0	07/07/20	First Issue	Y	TY	Director
P1	15/07/20	Minor amendments	Y	TY	Director

Distribution List

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	Y	Eisai Manufacturing Limited
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Design and Access Statement

1. Introduction

This Document has been prepared by AECOM in support of a planning application for a new build extension at the European Headquarters Campus at Hatfield Business Park.

This Design and Access Statement has been prepared in accordance with the 'CABE. Design and Access statements - how to write, read and use them' document and Welwyn Hatfield Borough Council Planning Development Control, Planning Application Validation Checklist.

Planning Application

The application seeks planning consent for the development of Use Class B1 accommodation.

The Proposed Development

The application seeks detailed planning consent for the following:

Construction of three number, single storey & 2-storey link extensions to the existing Eisai European Knowledge Centre EML building providing 75m² of accommodation for the purpose within Use Class B1 Business (an office link, laboratories link corridor and packaging lines space).

The proposed scheme is set out in the detailed drawings forming part of this application.

Background

Two initial Planning Applications were made by Arlington Property on the 1st September 2006 for a Proposed Development, European Headquarters Campus at Hatfield Business Park for Eisai Co Ltd which sought for planning permission for a single campus development comprising headquarters office, productions, and research & development facilities as well as associated and ancillary accommodation.

A Permit for both applications was received, with conditions, on the 15th February 2007 and construction started in 2007.

Eisai have occupied the European Knowledge Centre since 2009, and in doing so have fulfilled the companies long held ambition to bring teams from across its businesses together on one site for the first time.

The site contains multiple linked buildings with the existing HQ Building, R&D Building, Shared Facility Building, High Bay Warehouse, EML Production Building

(built 2009) and EML Production Building (built 2014), all with associated roads, parking service yards, vehicle and pedestrian accesses.

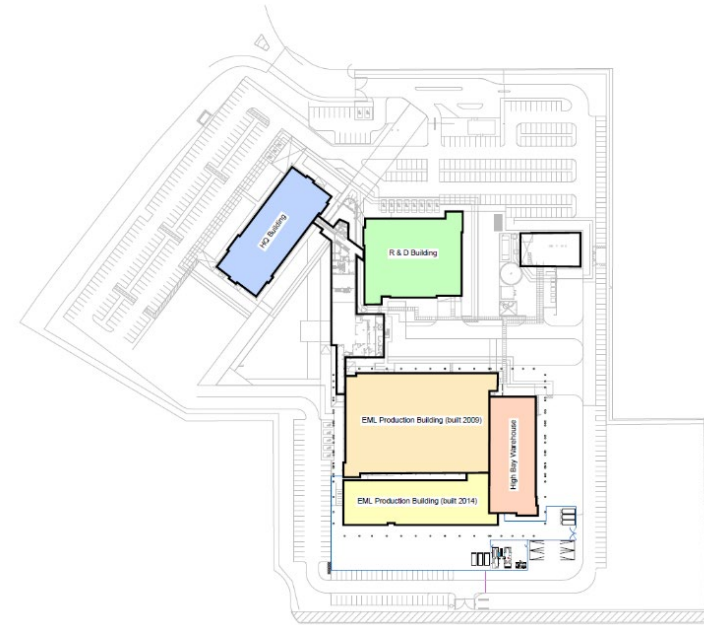


Figure 1 - Existing Site

One of the original buildings on the site was extended in 2014, under the previous application **S6/2013/1232/MA**, 'Erection of two storey extension to provide 3000sqm of floor space for offices, laboratories, packaging lines and plant equipment (use class B1)'.

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2. The Process

Assessment

Eisai European Knowledge Centre is located to the east of Hatfield Business Park adjacent to Comet Way and the A1. The existing facility benefits from good public transport links and connects to the public transport system via regular bus services to Hatfield town centre and Hatfield (Herts) train station.

The application site sits within the existing European Knowledge Centre land ownership. The site is located on the South of the campus and connects to the original EML building and abuts the 2014 extension.

Existing access to the European Knowledge Centre is via a controlled main entrance off Mosquito Way to the north of the existing site ownership. It acts as the main entry to the site for pedestrians, bicycles, cars, delivery and refuse vehicles.

Existing secondary site access/egress to the European Knowledge Centre occurs from Tamblin Way. No regular vehicle traffic uses this entrance. It acts as a pedestrian and cycle access to the campus.

Tamblin Way and the district centre borders the site to the South which included David Lloyds Gym and several Residential apartment buildings at Clarkson Court and Parkhouse Court.

A police facility borders the site alongside the Eastern boundary of the site and the listed buildings of the Police Headquarters and gatehouse building. West of the site is the office of Veolia Water.

Planning Policy

The following section provides an overview of relevant planning policy at regional and local levels which related to the original design of the building and is also followed for these extensions.

The 'increased importance to the quality of design in new development' is recognised in the latest versions of PPG1 and PPG3.

The adopted Welwyn Hatfield District Plan, 2005 contains several policies relating to design aspects, and aim to ensure:

Policy D1 Quality of Design

A high-quality design standard in all new developments.

Policy D2 Character and Context

Respect and relate to the character and context of the existing area. Maintain, and where possible, enhance or improve the character of the existing area.

Policy D3 Continuity and Enclosure

Incorporate the principles of continuity and enclosure to distinguish between public and private space.

Policy D4 Quality of the Public Realm

Create or enhance the public realm

Policy D5 Design and Ease of Movement

Consideration is given to existing movement patterns

Policy D6 Legibility

Enhance and contribute to the legibility of the development

Policy D7 Safety by Design

Contribute to safer communities

Policy D8 Landscape

To reflect the strong tradition of urban landscape design in the district.

Policy D9 Access and Design for people with Disabilities

Design to allow access by the disabled and those who are temporary disabled through accident or injury.

Involvement

Although no formal pre-application has been undertaken prior to submitting the application, informal consultation has taken place with Planning Officers from Welwyn Hatfield Borough Council Planning Department.

The information included in this submission has been discussed on several emails with Welwyn Hatfield Borough Council Planning Officers prior to submitting the application. Although only informal discussion, the information discussed has helped to assist with this application.

The development type has been determined using the Welwyn Hatfield Borough Council Validation Checklist and following emails conversations with Development Management Officer Tom Gabriel in June 2020.

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Evaluation

The three new link extensions are contained within the existing light well, and as such, are in the main, shielded from all outward facing elevations. The only truly outward facing element of these proposals is the addition of the new fire escape door within the existing Western façade. Part of the new entrance link will also be visible from the Western façade; however, this is set back from the building extents and is formed with curtain walling matching the existing elevation treatments and will therefore resemble the existing building.

None Submitted Information

Informal discussions have been held with the Local Planning Officers at Welwyn Hatfield Borough Council to ascertain what information is required to support this application.

The document has been prepared using the Welwyn Hatfield Borough Council, Planning Application Validation Checklist, to ascertain what information should be included within this application. Requirements which are considered not necessary have been identified and justified below.

Given the minimal nature of the extensions and the location within the centre of the existing building, on hard landscaping it has been noted that the none of the following reports would be required for this project.: Ecological Study / Traffic Study / Flood Risk Assessment.

We have also deemed the following are not required for this development given its size and location: Air Quality Assessment / Arbocultural statement / Biodiversity survey and report / Daylight/sunlight assessment / Economic Statement / Environmental statement / Heritage Statement / Land Contamination Assessment / Lighting Assessment / Marketing Assessment / Open Space Assessment / Statement of community involvement / Transport Assessment / Travel Plan / Tree Survey / Ventilation/ extraction statement.

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3. The Design

Introduction

The following text aims to provide the necessary information to help evaluate the proposal in terms of the design approach.

Approach

The scheme will honour the form, materiality and massing of the existing EML building and campus as a whole.

The scheme will respond to the current West elevation of the EML building and the internal light well facing elevations.

The proposal has adopted the following design principles first established in the design for the existing campus.

- Respond to the materiality of existing adjacent facades so that the same quality is extended to all campus buildings. The building will use the same pallet of materials as the existing campus to ensure a cohesive feel is achieved.
- Matching of the massing and glazing proportions of the existing EML building.
- The provision of recessed entrance link at ground floor to keep the visually liberation between the existing buildings, thereby retaining the appearance of the streetscape.
- The careful application of different materials to reduce the visual impact of the building.

Use and Amount

The proposal will comprise Use Class B1-Business with a footprint of 65m² providing 75m² of accommodation over two floors.

The proposal will comprise three new links between the 2009 EML Production Building and the 2014 extension;

- New building entrance into new changing rooms
- GMP corridor linking the two GMP zones
- Part of new packaging lines
- Office link at first-floor level

Appearance

The building has been designed to match the exiting campus simple pallet of materials comprising, insulated cladding panels, grey body tinted curtain wall glazing, metal louvres.

To help maintain uniformity with the existing buildings and maintain the coherent frontage of the West the new entrance link is recessed and formed with curtain wall glazing and first floor glazing.

The South, East and North facades are not affected by the proposals.

For the light well elevations, the pallet of materials matches the existing adjacent facades, to form a coherent architectural form.

All new external elevational treatments will be constructed using the same products as the original building, whilst ensuring all current regulations are met.

New rainwater goods, RWP's, gutters etc are to match existing in construction and aesthetic.

The new roof areas to the new links are the only new roofs constructed. These are also to be constructed using the same products as the original building, but ensuring all current regulations are met.

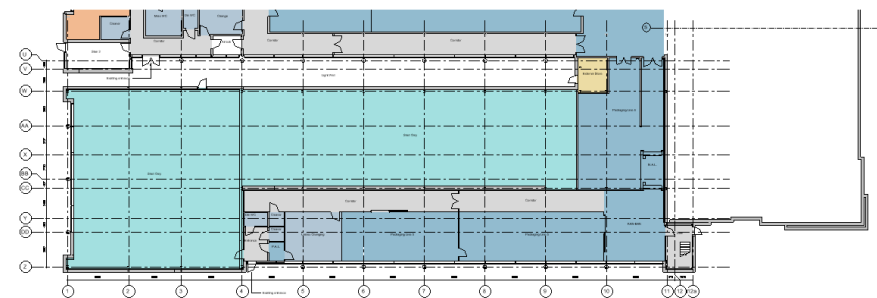


Figure 2 - Existing GF Plan

Proposed Changes

For the part of the building built in 2014, although the full external envelope was constructed at that time, only part of the building was constructed and fitted out internally. As part of the new works on site, the first-floor element highlighted in blue in Figure 5, is to be constructed, and the remainder of the vacant space fitted out with the packaging lines. As this space was included as part of the planning application and approval from the **S6/2013/1232/MA** application, further approval for this space is not required.

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In order to utilize the previously vacant internal spaces and form a homogeneous function with the existing facilities clean room spaces, new links are required through the existing light well.

These links are the subject of this planning application, along with a minor elevational change to the existing curtain walling along GL 1; a new fire escape door is to be introduced as part of the fit-out space of the vacant area

The two single storey and one 2-storey extension links to be formed between the 2009 & 2014 buildings, are highlighted in Figures 3 & 5 below.

With most of the work being internal, there are only minimal elevational changes, which is mainly contained within the lightwell between the 2009 and 2014 buildings; the exception to this is the new FE door.

New Links

There are three new links to be formed as part of the works, which span the lightwell between the 2009 and the 2014 builds;

Link 1 forms a new entrance and ground floor and there is a smaller link at first floor.

Link 2 has an existing link at first floor, and we are constructing a new link at ground floor underneath the existing link and extended to one side.

Link 3 is a new single storey link and is part of the Packaging Line spaces.

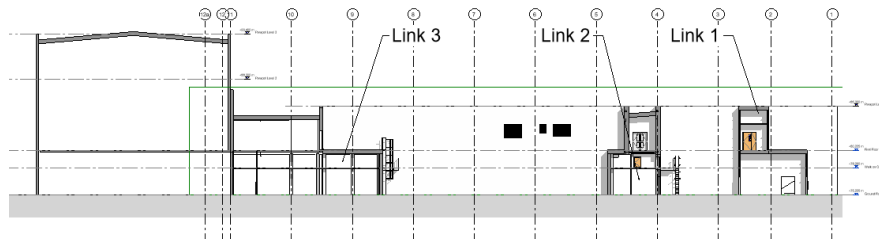


Figure 3 - Section Through Links

Access is required into the two lightwells for maintenance, but no access can pass through the GMP areas, therefore there is a mixture of CAT ladder access and door access. The lightwell and links also form part of the fire escape strategy from the extended walk on ceiling zone.

Ground floor works

In Figure 4 below, the new extensions are highlighted in green, and the blue elements are spaces to be fitted out, which were part of the 2013 planning approval.

A new entrance is to be formed within New Link 1, which leads to the main ground floor space within the 2014 build and forms a link to the original 2009 production facility.

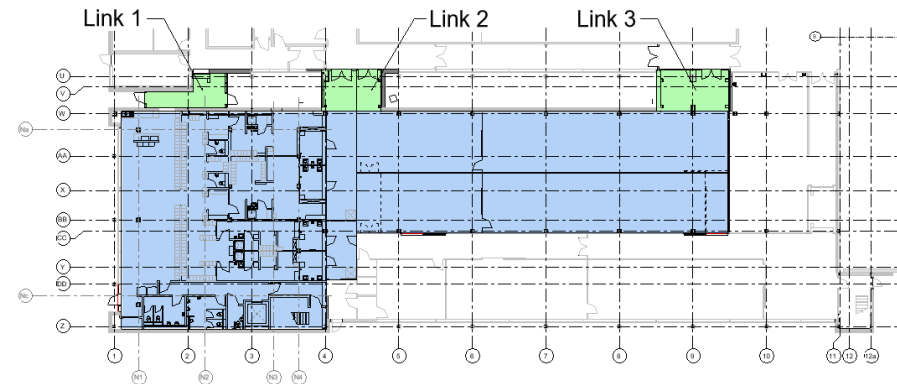


Figure 4 - Proposed Ground Floor Plan

The spaces within the 2014 build, which were approved in the previous planning application, include changing spaces for the clean room packaging lines; a new HPP Packaging Line 8 and a new GMP Packaging Line 7; which is accessed from the GMP corridor from the new GMP changing facilities, along with a direct access to the 2009 facility and its GMP areas from the same point. Link 2 forms the GMP link and part of the GMP packaging line (as does Link 3).

Interstitial Walk on Ceiling Works

The existing Packaging Line 5 and associated areas have Cleanroom wall and ceiling constructions, with the ceiling being a full walk on ceiling, albeit with limited headroom. As part of the works, the walk on ceiling is to be extended over both new Packaging lines, and the associated GMP spaces. These are suspended from the first-floor slab/structure. As per the original planning approval, this space is not noted as useable floor area.

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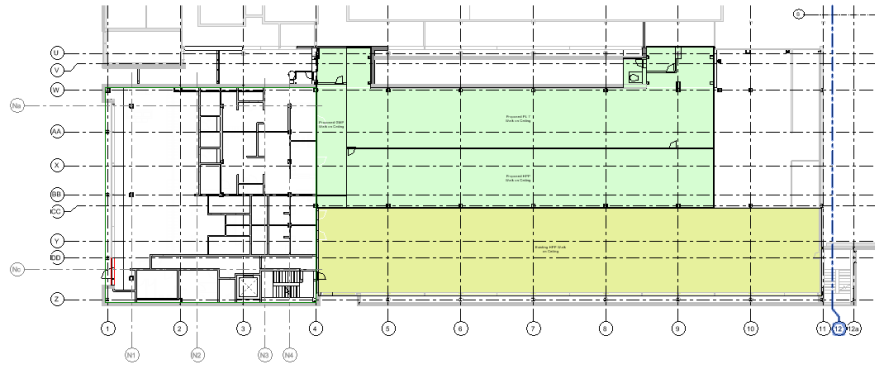


Figure 5 - Interstitial Walk on Ceiling

First Floor Works

A new link is to be formed within New Link 1, which leads from the new first floor office space within the 2014 build and forms a link to the original 2009 production facility; this is shown in green on Figure 6.

As noted previously, the first floor within the 2014 build is to be constructed, incline with the previous planning approval, in the zone marked blue on Figure 6, and includes the construction of a complete new structural floor in this zone, with offices areas and associated Stairs and lift area.

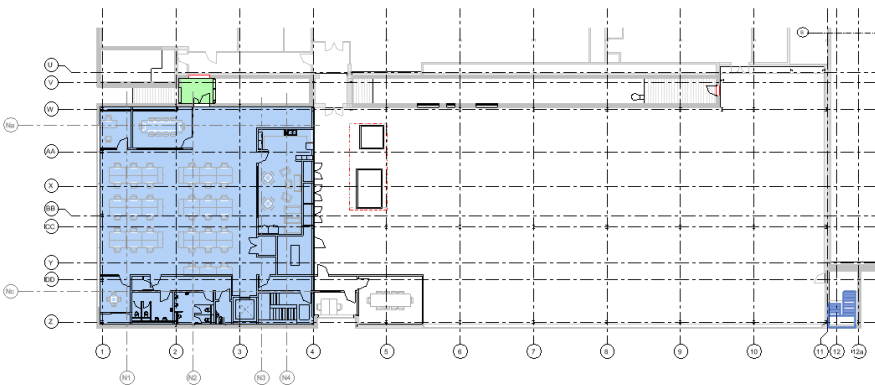


Figure 6 - Proposed First Floor Plan

The existing plantroom area is to be utilised to house the new MEP equipment required for the new installations.

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4. Access

Movement to and through the site

Existing access to the European Knowledge Centre is via a controlled main entrance off Mosquito Way to the north of the existing site ownership. This will be utilised by the proposed building users. It acts as the main entry to the site for pedestrians, bicycles, cars, delivery and refuse vehicles.

Existing secondary site access/egress to the European Knowledge Centre from Tamblin Way is retained with no proposed additional use. This currently provides pedestrian and cycle access whilst also service as an emergency vehicle entry point.

Unobstructed access routes around the site and buildings were key design consideration of the original campus design which the proposed extension will adopt. This includes:

- The movement from designated car parking spaces to all accessible entrances.
- Access routes externally to principle and secondary entrances
- External movement around the building
- Routes that link the building to the existing campus.
- Routes internally between the building and exiting EML building and wider campus.

The proposed ground level will ensure the development can achieve the necessary level thresholds that tie in with the existing adjacent buildings.

The site is notionally level lying between 74.44 and 74.99 meters above Ordinance Datum.

Inclusive Access

The proposal will create an inclusive environment, and the following notes should be read in conjunction with a full set of plans.

The new entrance on the West elevation is for staff only and will be set with a level access. It is situated within the space between the two buildings and will contain a single door with a min 1000mm clear opening.

The existing entrance to the EML building will be utilised as a secondary means of entering the building and provide a link connection to the wider campus buildings.

Vertical circulation is facilitated by the lift and stairs within the existing buildings (including the next accommodation within the blue zone) and horizontal circulation

is either within the main spaces or in corridors matching the widths of the existing build.

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5. Strategy

Landscaping

As the works are contained within the light well, which is hard landscaped, there is no soft landscaping affected by this development. The areas of hard landscaping will be re-instated to match the existing, thus providing a cohesive design.

Parking Provisions

The original planning consent received for the Eisai European Knowledge Centre in 2007 split the site into two phases. Phase 1 incorporated 423 car parking spaces and 30 cycling spaces. Phase 2 incorporates 195 car parking spaces resulting in a total provision for 618 car parking spaces on the campus. To date 518 spaces have been built on site with 16 marked as disabled bays. 100 additional car park spaces are available under the current planning approval for the campus site.

These provisions were established in accordance with the ratios set out in the section 106 agreement that forms part of the original permission for the Hatfield Aerodrome site.

An estimate of current usage by the Eisai estates team suggests 20 to 40 unused car parking bays exist on most days at the campus. As the number of staff on site will not increase because of these extensions, then there will be no additional demand for parking due to these works.

(These figures have been calculated using the Welwyn Hatfield District Plan Review – Car Parking Standards (January 2004), Appendix A, Maximum Demand-Based Car Parking Standards (including standards for disabled motorists) & Cycle Parking Standards and in accordance with POLICY 25 Car Parking of the Hertfordshire Structure Plan Review 1991 – 2011, adopted April 1998.)

As there is additional capacity of car parking spaces currently at the site; additional capacity for car parking to be constructed in the existing planning application; and that the 75sqm applied for in proposal is mainly circulation space, this application does not apply for additional parking space.

Cycling stores

The existing cycle store provision on site is suitable for the minimal new floor area created.

Refuse disposal details

The existing refuse disposal strategy already implemented for the waste streams on site are not affected adversely by this proposal and will be maintained.

Foul Water

There are no foul water requirements for the extension, however, the fit out works within the previously approved space will utilize the existing drainage network.

Surface Water

The new roof areas for these extensions are to feed into the existing surface water drainage network.

6. Conclusion

The proposed extension represents a continuation to develop a strategic European Headquarters at Hatfield Business Park through sustainable re-use of a previously developed Brownfield site. The link extensions allow the development to utilize its potential formed with the 2013 planning approval, linking the building together to form a more cohesive design and use.

The scheme has been specifically designed with sensitive regard to surrounding users and the existing campus.

The building responds to the existing European Headquarters to ensure continuity with the development. It provides an architectural response that ties into the wider campus design approach whilst not affecting the character of the existing streetscape.

The proposal is sympathetic to the existing surrounding built environment and represents a high-quality development.