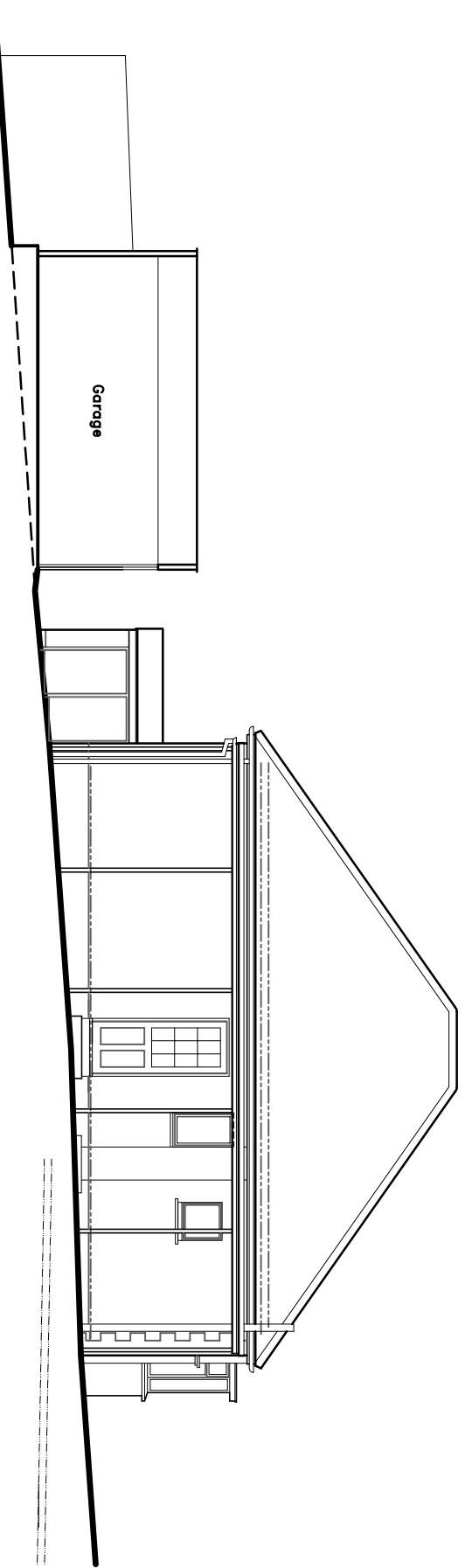
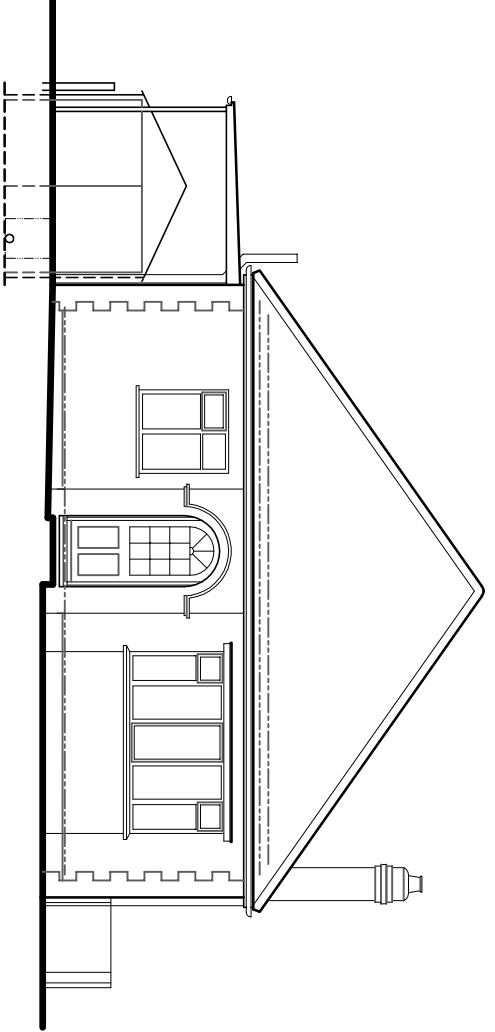


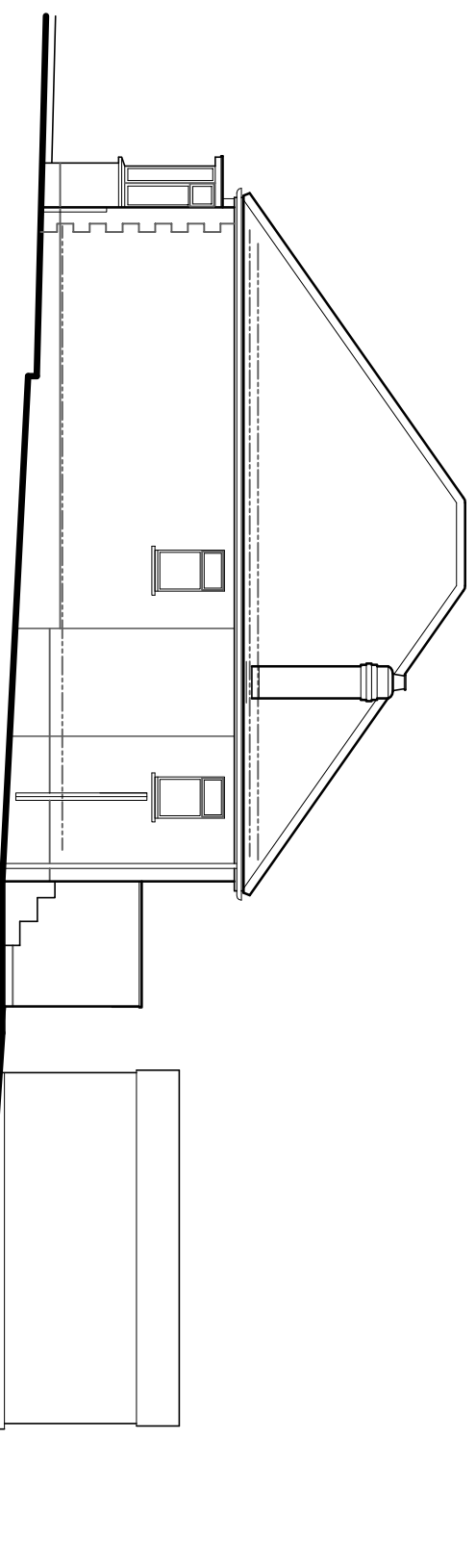
Existing East Elevation



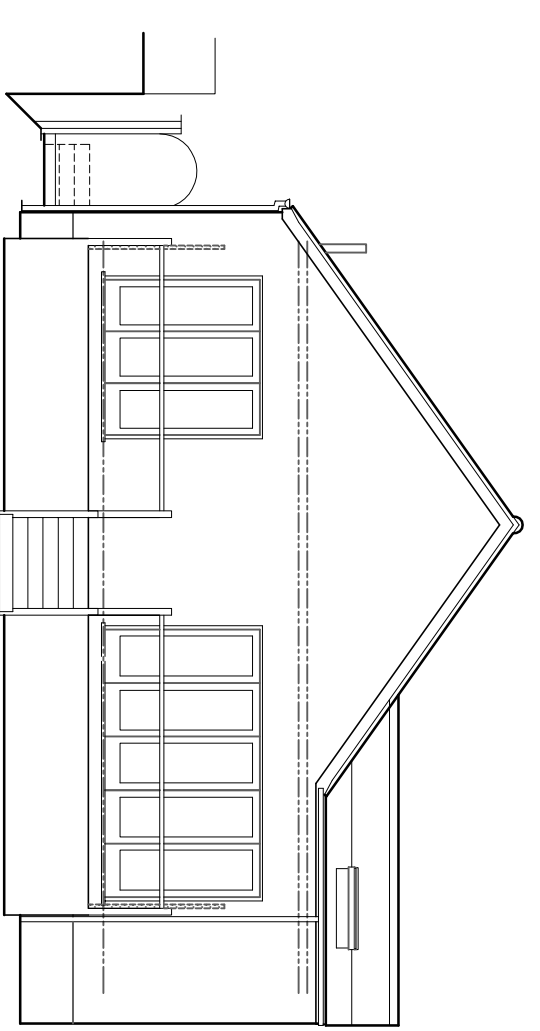
Existing North Elevation



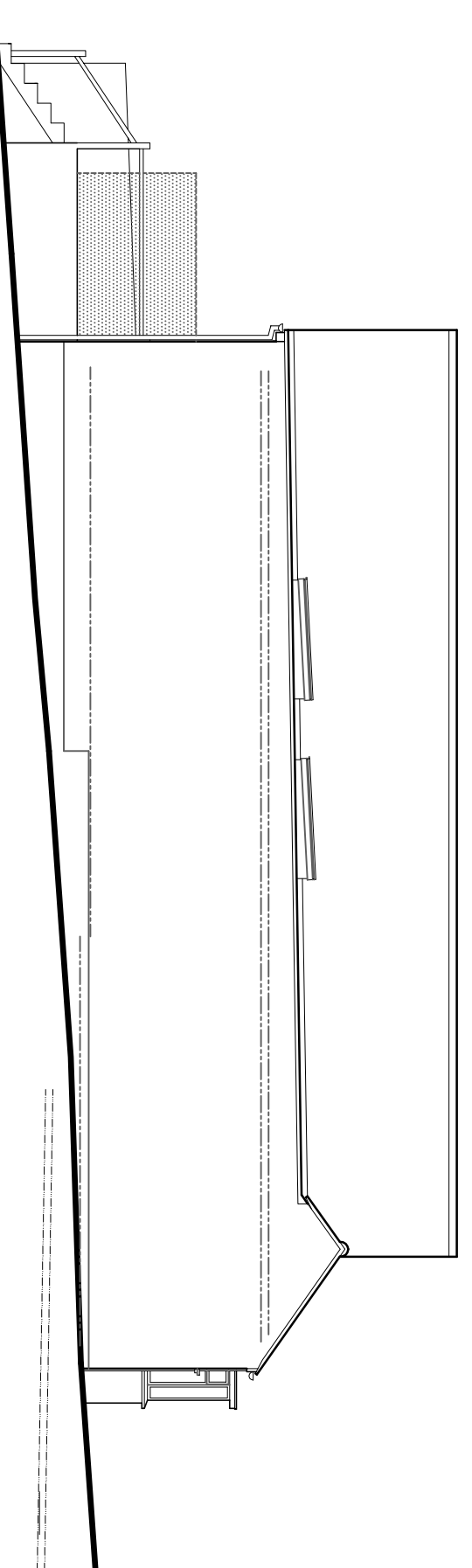
Existing West Elevation



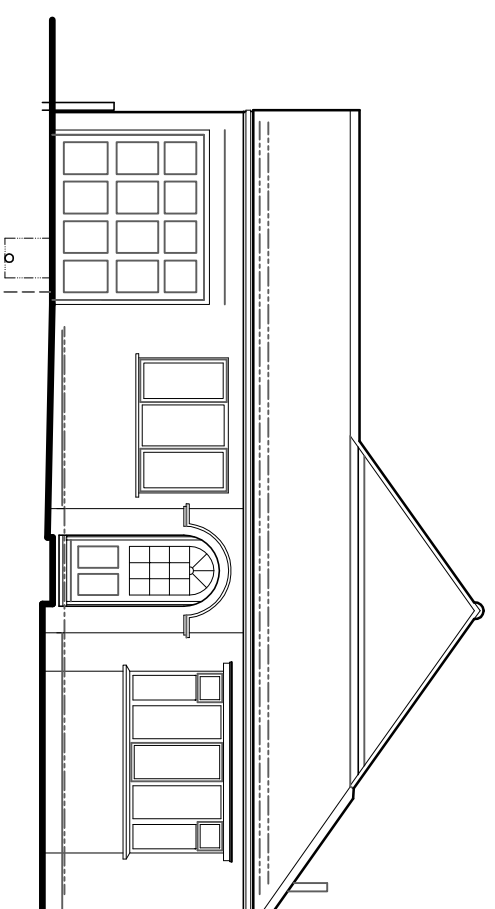
Existing South Elevation



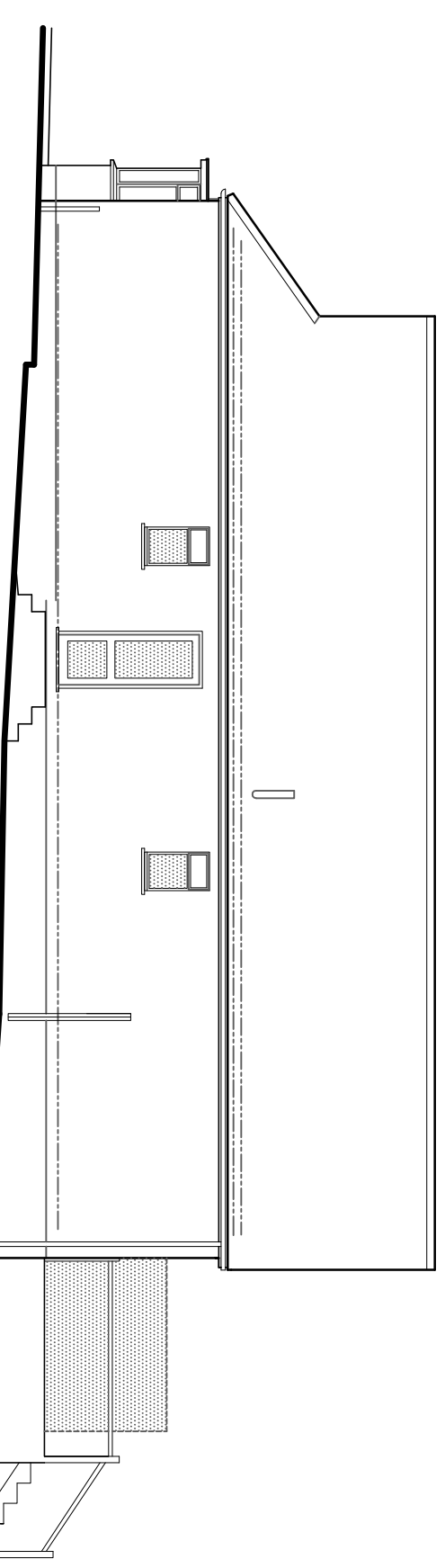
Proposed East Elevation



Proposed North Elevation



Proposed West Elevation



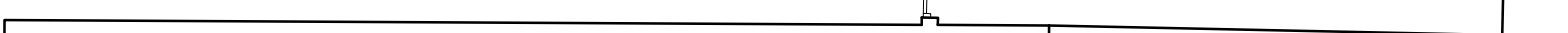
Proposed South Elevation

Materials

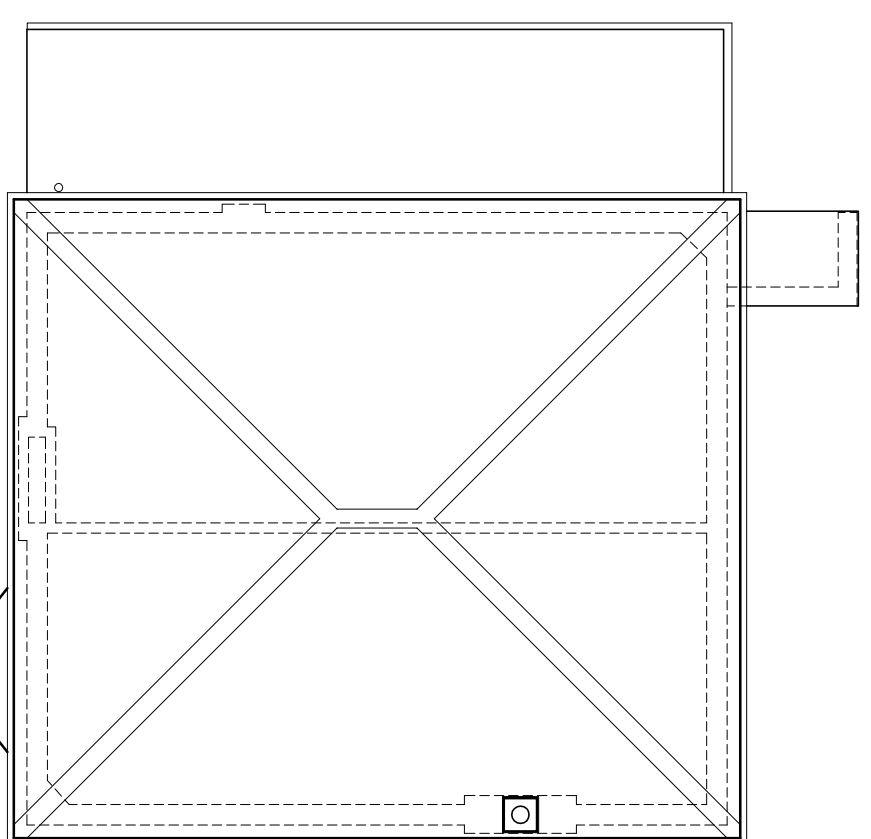
- Roof:** Red/brown plain tiles with matching ridge tiles. Light grey single ply membrane to flat roof.
- Eaves:** White upvc eaves fascia and soffit.
- Rainwater Goods:** Black upvc half round gutter and down pipes.
- Walls:** Cream colour painted pebble dashed render and red painted brickwork detailing.
- Doors:** Double glazed white upvc door to front entrance. Grey framed double glazed doors to rear.
- Windows:** Double glazed white upvc framed windows. Grey framed double glazed patio door lights to flat roof.
- Fences and Hedges:** 900mm high picket fence to front boundary. 900mm high close boarded fence to front north boundary. 900mm high close boarded fence to rear boundary. 1800mm high close boarded fence for part of north and south side boundaries near to house and thereafter mixed species hedging.
- Drive and Paths:** Existing brick mix front drive and other paths are concrete. Proposed drive to be grey permeable block paving. Concrete paving side to side deck and steps down to garden to rear.

KEY

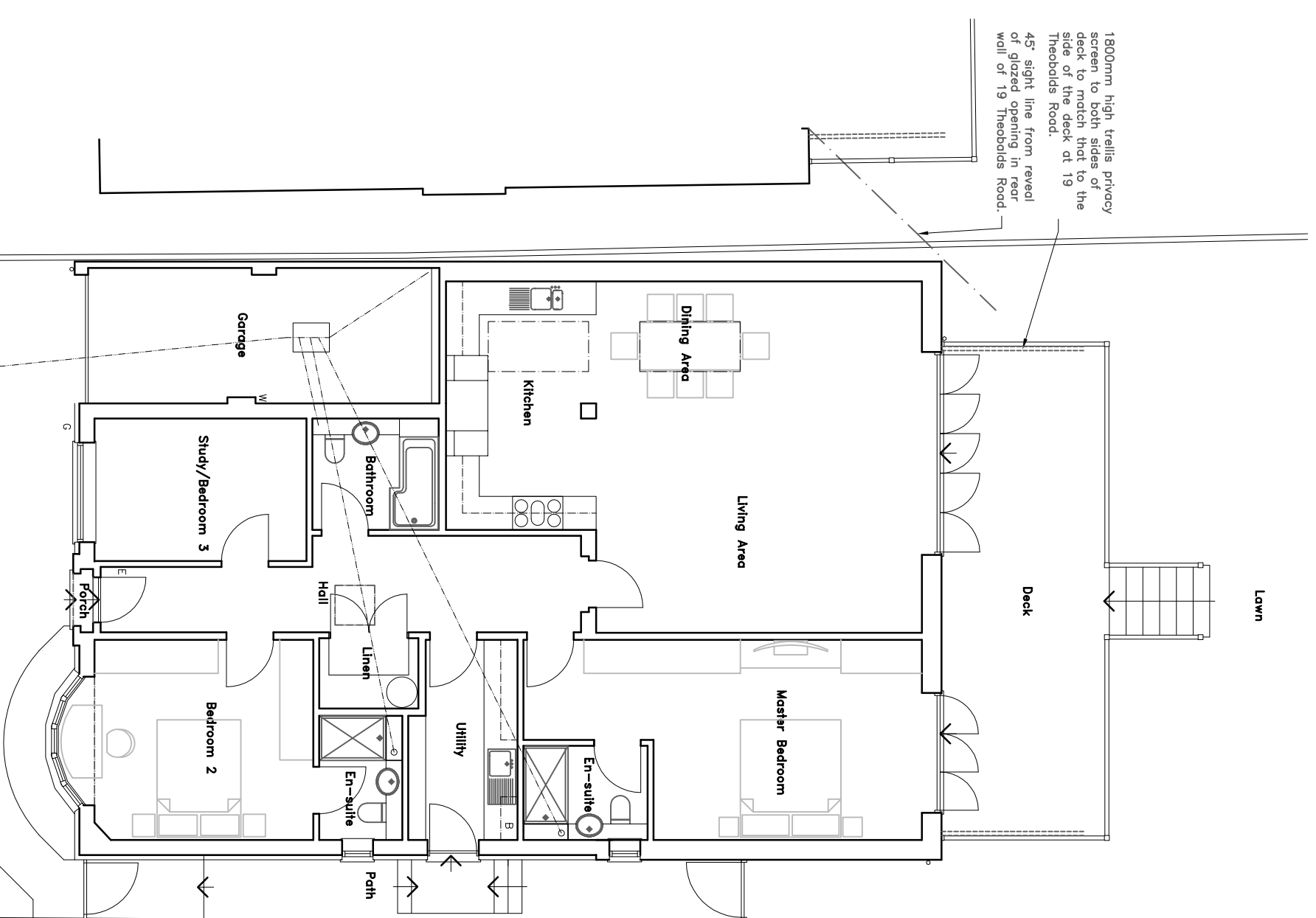
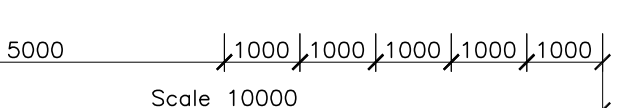
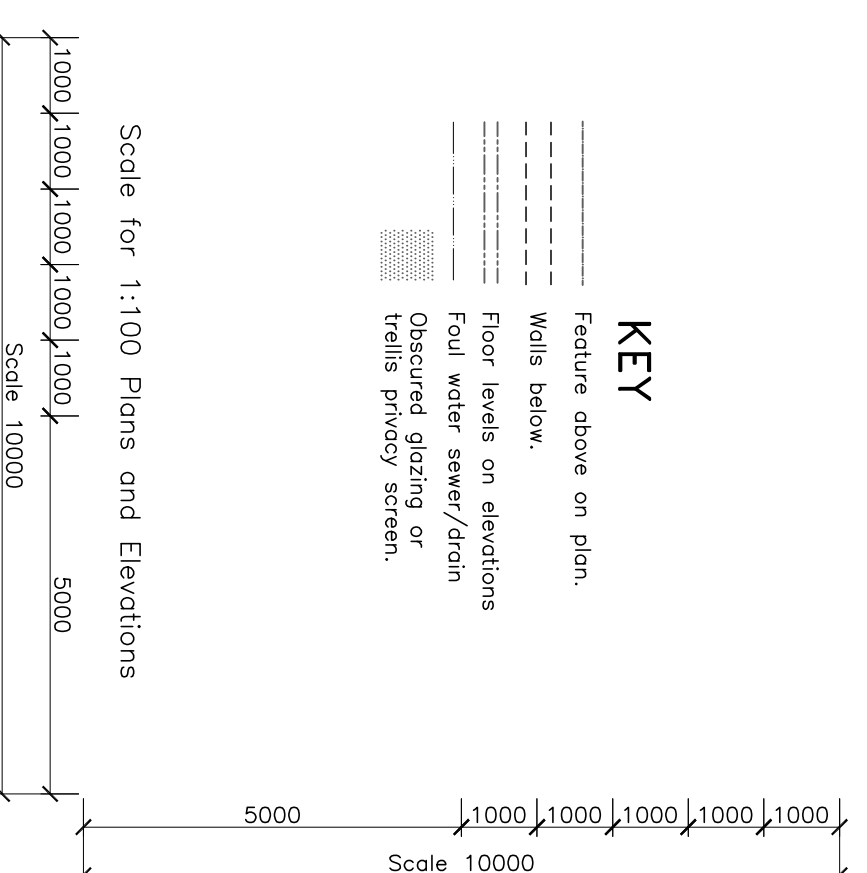
- Feature above on plan.
- Walls below.
- Floor levels on elevations
- Foul water sewer/drain
- Obscured glazing or trellis privacy screen.



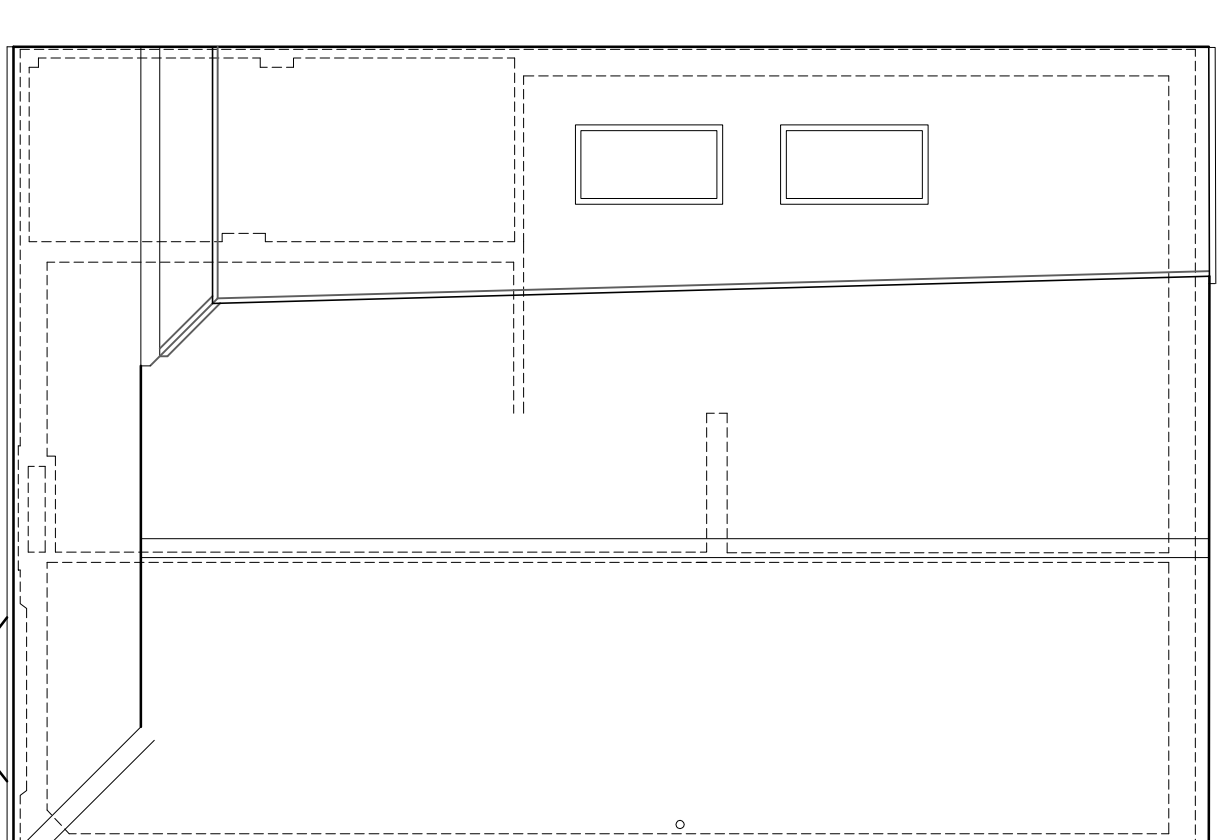
Existing Ground Floor Plan



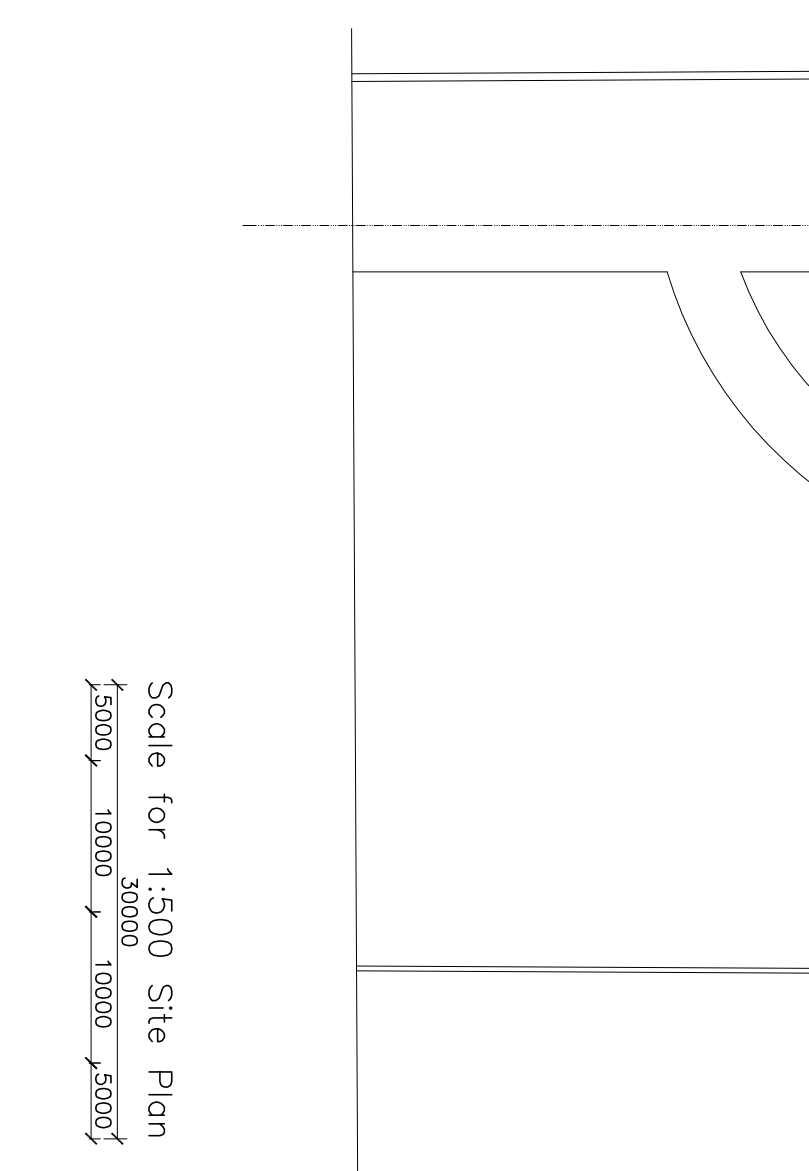
Existing Roof Plan



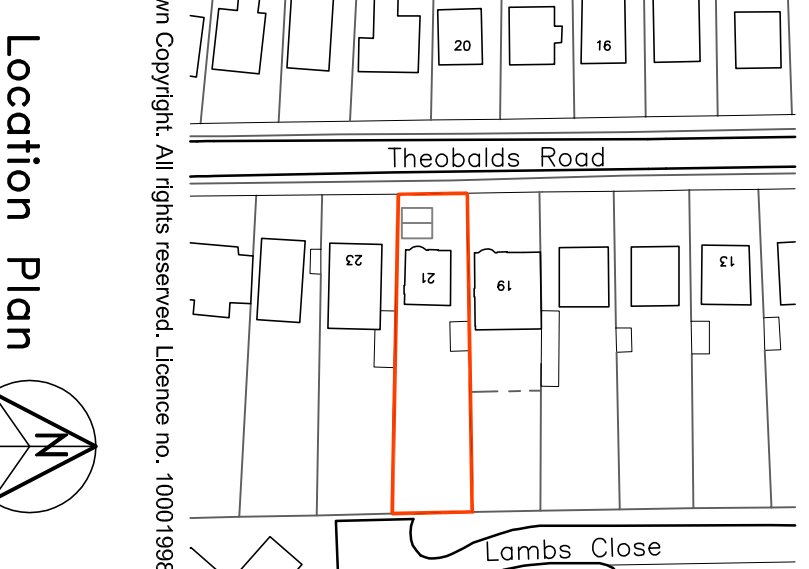
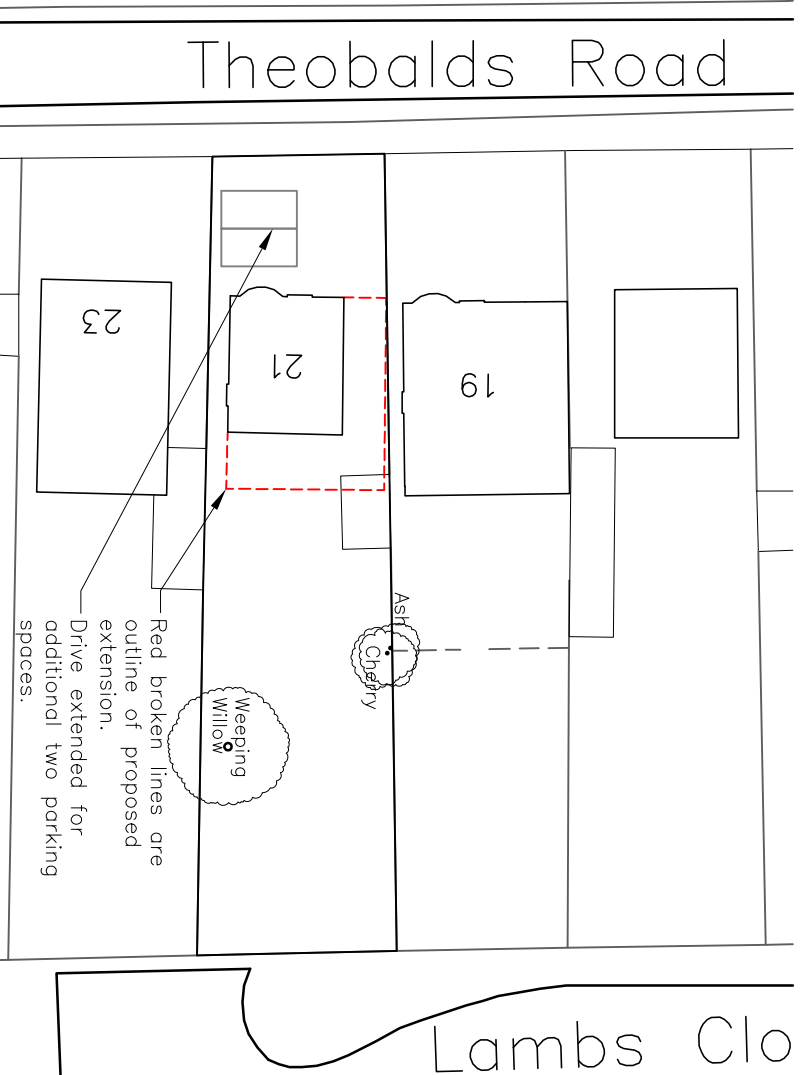
Proposed Ground Floor Plan



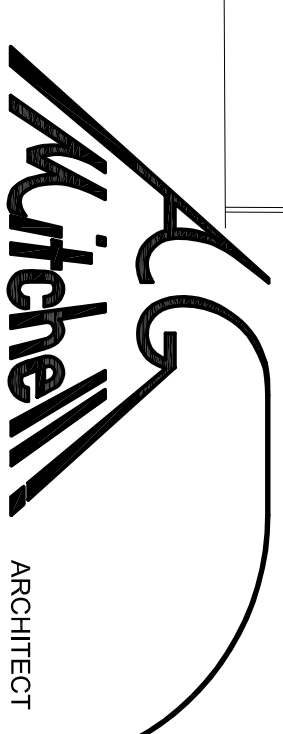
Proposed Roof Plan



Existing Ground Floor Plan



Location Plan
At a scale of 1:1250



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Studio House: 50 West Street, Hemford, Herts, SG13 8EZ

Revisions

Project Proposed Single Storey Rear Extension and Integral Garage at 21 Theobalds Road, Cuffley, Herts, EN6 4HQ.			
Existing Title	Number	Revision	
Existing and Proposed Plans and Elevations and Location and Block Plans.	2308	EP01	
Date	Scale		Drawn
16.03.23	1:100, 1:500 and 1:1250 @ A1		AGM