This drawing is intended as an initial appraisal of the site only. Do not use for the purposes of valuation.
This drawing has been produced using OS information and a full measured laser digital survey. The proposals are subject to further detailed site inspection(s) and are subject to planning.

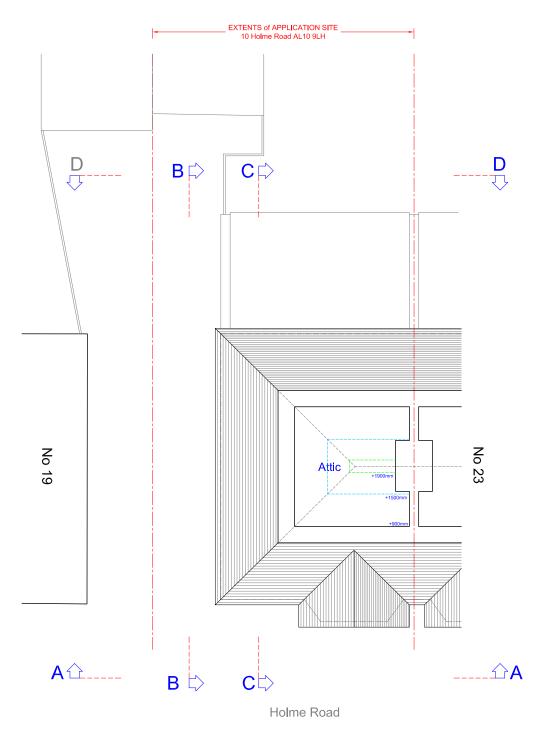
All building work must comply with relevant British Standards and Building Regulations All dimensions to be checked on site prior to the commencement of works and any discrepancies or omissions refered to the Architect / Engineer / Contractor

The ownership of copyright of this drawing remains the property of Studio:08 architecture + planning Itd in accordance with the Copyright Design + Patents Act 1988.

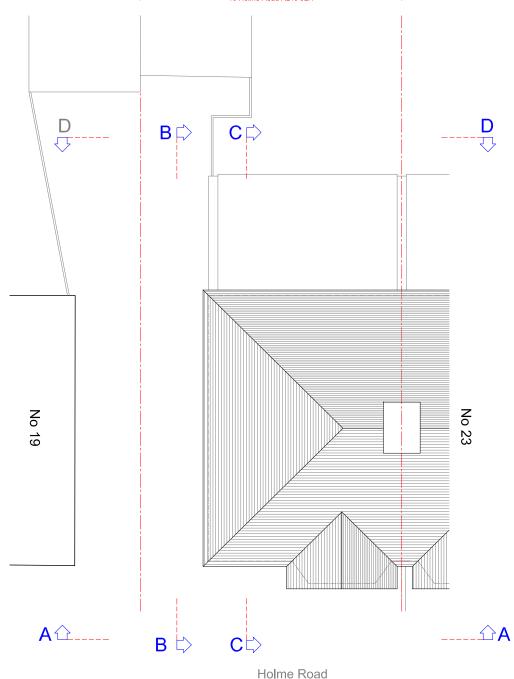
Reproduction of this drawing or its content, wholly or in part by a 3rd party is prohibited without written approval. No implied licence exists.

NB: If a hard copy of this drawing is to be printed or copied at a remote source by a 3rd party it could result in minor distortions in the original scale. It is advised to verifity the original scale has been reproduced accurately by checking the visual scales on the drawing.

Notes :



21 Holme Road, Hatfield AL10 9LH **EXISTING** 2nd Floor Plan (Attic) North scale 1:100 @ A3 



EXTENTS of APPLICATION SITE \_

21 Holme Road, Hatfield AL10 9LH **EXISTING** Roof Plan scale 1:100 @ A3

North

10 Holme Road AL10 9LH
 B ▷ C ▷
No 23
<b>△ ∧</b>

Site Location Plan Site \_\_\_\_ 1:1250 @ A3

> Drawing No.: Revision: 2019.EX.12 Date: 1:50 @ A1 1:100 @ A3 10.05.18 Project Title:

21 Holme Road Hatfield Herts AL10 9LH

**EXISTING** Second Floor and Roof Plans

Crows Nest 266 Stamford Hill London N16 6TU