Condition 13 (Hard landscaping)

CONDITION

No development above ground level (excluding works of demolition) shall take place until a ground floor level hard landscaping scheme has been submitted to and approved in writing by the local planning authority. This scheme shall include:

a) Details of the height and appearance of gates, fences, walls or other means of enclosure and a plan to an identified scale illustrating and annotating the location of such features; and

b) Details of the surface material for the internal road, footway, cycle way and parking spaces and arrangement for surface water to be intercepted and disposed of separately so that it does not discharge onto the highway carriageway.

The approved details must be implemented prior to first occupation of the development and retained permanently thereafter.

RESPONSE

In the interest of high-quality design our ground floor level hard landscaping scheme does not include any means of enclosure as such we do not have any gates, fences, or walls.

We envisage the development to be open and restricted/secure at its principle communal entrances and building services.

The surface materials are:

A. Internal roads/cycle way &
     under croft parking-   Impermeable Bituminous Asphalt
B. Footways-   Permeable Asphalt
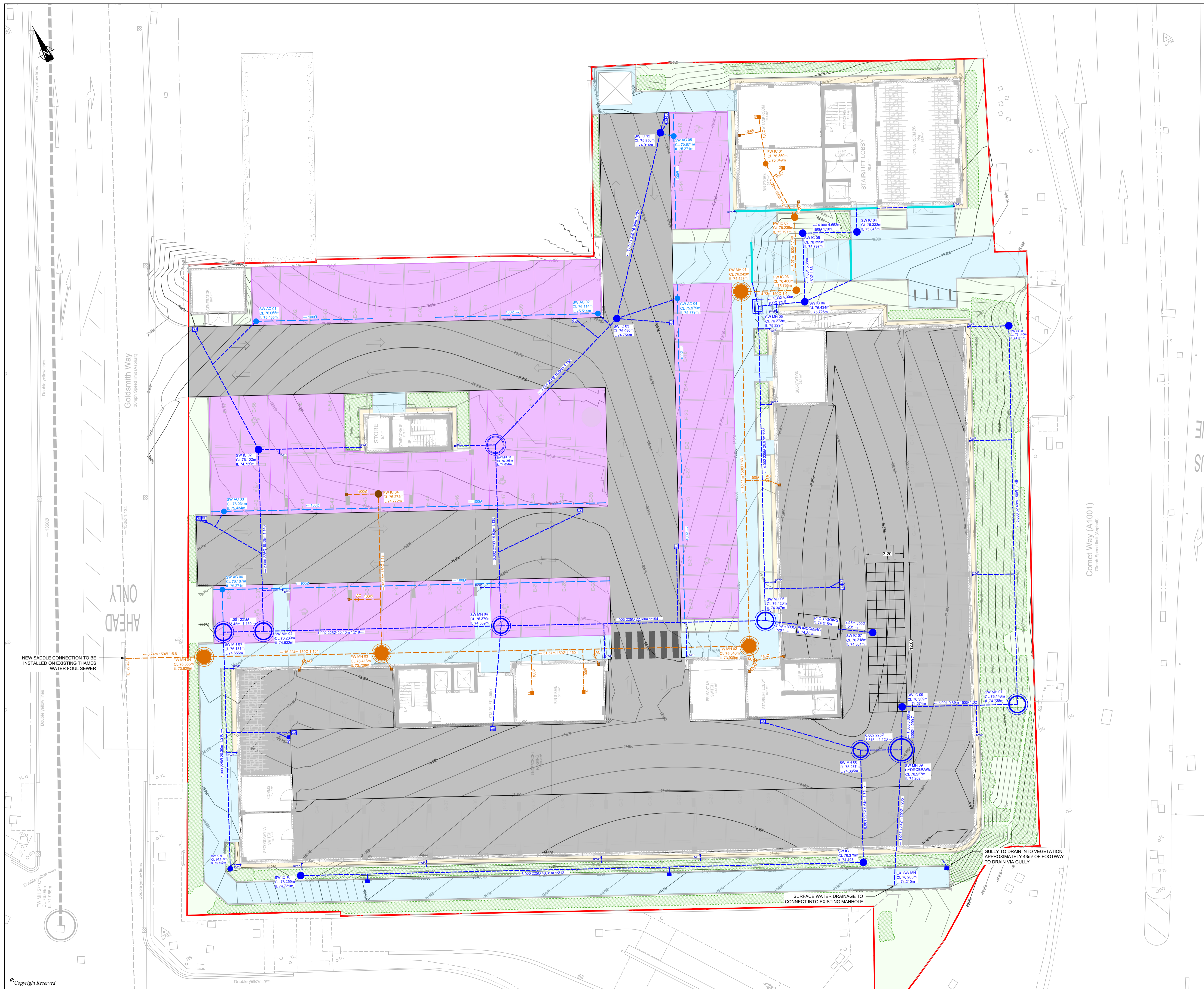C. Parking spaces-   Permeable Asphalt with precast wheel stop

We have attached the proposed drainage strategy that demonstrates that the surface water is intercepted and disposed separately, and it does not discharge onto the highway.

Attached drawings under appendices demonstrate that condition has been complied with.

Drawing	Title	Rev	Date
HAT-RDB-XX-GN-SC-A-0017	Landscaping plan	R01	12 August 2022
HAT-HSD-XX-GN-DR-C-0102	Proposed Drainage Strategy	T01	08 August 2022

REASON

In the interest of high quality design, in accordance with Policies D1, D2 and D7 of the Welwyn Hatfield District Plan 2005; Policy SP 9 of the Welwyn Hatfield Borough Council Draft Local Plan Proposed Submission August 2016; and the National Planning Policy Framework.

Landscaping plan

A-Impermeable Bituminous Asphalt

B-Permeable Asphalt

C-Permeable Asphalt

GOLDSMITH WAY

MAIN ENTRANCE

GENSET

ELEC/COMMS

CYCLES 40 NO.

CYCLES

EXIT STAIR 4

CORE 3 MAIN ENTRANCE

BINS

JETLINER WAY

C Parking spaces

A Internal roadways/cycle way/ under croft parking

CAR PARKING

SUB STN

LV

CORE 2 MAIN ENTRANCE

STAIRS 5

B Footway

SUB STATION

STORE

BINS   WATER

CORE 1 SOCIAL RENT ENTRANCE

CYCLES 96 NO.

COMET WAY

FOR APPROVAL

DO NOT SCALE FROM THIS DRAWING

KEY

- —— PROPOSED SURFACE WATER DRAINAGE
- – – – POROUS PAVING COLLECTOR DRAIN
- ▦▦▦▦ PROPOSED SURFACE WATER ATTENUATION
- – – – PROPOSED FOUL DRAINAGE
- MACADAM ROAD SURFACING
- FOOTWAY SURFACING
- PERMEABLE ASPHALT SURFACING
- WHITE STONE GRAVEL MARGINS
- LOW LEVEL MAINTENANCE SHRUBBERY
- LOW LEVEL MAINTENANCE PLANTING
- —— SITE BOUNDARY

NOTES:

1. DRAINAGE PLAN SUBJECT TO PLANNING APPROVAL. COSTINGS ON THIS ARE TO BE TAKEN AT RISK UNTIL FINAL APPROVAL ON ALL DETAILS HAVE BEEN PROVIDED BY HERTFORDSHIRE COUNTY COUNCIL.

2. SITE LAYOUT SHOWN HAS BEEN PRODUCED BY REDBROOKS AND HAS REFERENCE HAT-RDB-XX-00-DR-A-0200.

3. FOUL WATER DRAINAGE TO CONNECT INTO EXISTING 150mmØ COMBINED THAMES WATER SEWER LOCATED IN GOLDSMITH WAY.

4. SVP POSITIONS SHOWN BASED MEP DESIGN COMPLETED BY EMEC. EXACT POSITIONS TO BE CONFIRMED PRIOR TO COMMENCEMENT TO NEXT STAGE.

5. SURFACE WATER DRAINAGE TO CONNECT INTO EXISTING SEWER LOCATED IN SOUTH EASTERN CORNER OF SITE. EXISTING SURFACE WATER SEWER EVENTUALLY CONNECTS INTO THAMES WATER SEWER LOCATED NEAR GOLDSMITH WAY.

6. SURFACE WATER DRAINAGE TO BE RESTRICTED TO 34L/S THROUGH THE USE OF A HYDROBRAKE.

7. SURFACE WATER ATTENUATION TO BE PROVIDED THROUGH CELLULAR STORAGE LOCATED IN THE UNDERCROFT IN THE SOUTH EASTERN CORNER OF THE SITE. CELLULAR STORAGE SHOWN IS BASED UPON A STORMBLOC OPTIMUM PROVIDED BY HYDRO INTERNATIONAL. UNIT SIZE IS 0.8m x 0.8m x 0.66m FOR A SINGLE FULL BLOCK. ATTENUATION PROVIDED IS 2.0 BLOCKS HIGH. ATTENUATION CRATES SHOWN CAN BE SWITCHED OUT FOR A SIMILAR PRODUCT PRIOR TO CONFIRMATION WITH ENGINEER.

8. A TOTAL OF 50.2m³ OF ATTENUATION REQUIRED BASED ON DISCHARGE RATE OF 2.8 L/S.

9. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH JASPER KERR TENDER PACKAGE OF DRAWINGS.

10. ALL DRAINAGE WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING REGULATIONS PART 'H' 2010 EDITION AND SEWERS FOR ADOPTION 7TH EDITION AND TO BE IN ACCORDANCE WITH SPECIFICATION FOR HIGHWAY WORKS.

11. POSITION, SIZE AND DEPTH OF ALL EXISTING SEWERS AND SERVICES TO BE ESTABLISHED PRIOR TO COMMENCEMENT ON SITE.

12. THE CONTRACTOR SHALL ALLOW FOR THE PROTECTION, TEMPORARY AND PERMANENT SUPPORT & DIVERSION WORKS AS NECESSARY TO EXISTING SERVICES.

13. IN-SITU AND PRECAST CONCRETE UNITS SHALL HAVE SULPHATE RESISTANT PORTLAND CEMENT TO BS 4027 UNLESS SPECIFIED OTHERWISE.

14. PRECAST CONCRETE PRODUCTS SHALL COMPLY WITH THE RELEVANT PROVISIONS OF BS 5911 AND BE KITEMARKED.

15. ALL PIPES 375mmØ AND ABOVE TO BE PRECAST CONCRETE CLASS 'H' UNLESS STATED OTHERWISE.

16. MANHOLE COVERS AND FRAMES SHALL COMPLY WITH RELEVANT PROVISIONS OF BS EN 124, HAVE A MINIMUM OF 675mm x 675mm CLEAR OPENINGS WITH A 150mm DEEP FRAMES UNLESS OTHERWISE SPECIFIED.

17. MANHOLE COVERS AND FRAMES TO BE OF A NON ROCKING DESIGN WITHOUT CUSHION INSERTS AND BE KITEMARKED.

18. LOAD CLASS D400 TO BE USED IN ALL VEHICULAR AREAS, LOAD CLASS C250 OR B125 IN PEDESTRIAN AREAS.

19. THE CONTRACTOR MUST ENSURE THAT THE EXISTING DRAINAGE IS TO BE KEPT LIVE AND CLEAR OF DEBRIS AT ALL TIMES DURING THE WORKS.

Rev	Date	By	Description	Chk	App
C02	26.09.2022	AS	ADDITIONAL GULLIES ADDED, STORAGE UPDATED	AS	AS

CONSTRUCTION

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Client
Redbrooks

Architect

Project
RESIDENTIAL DEVELOPMENT
COMET WAY, HATFIELD

Title
PROPOSED SITE WIDE
FOUL AND SURFACE WATER
DRAINAGE DESIGN

Scale @ A1	Checked		Approved	
1:150	AS & DH		DH	

Project No.	Designed	Drawn	Date
JK-6778	AS	AS	08.08.2022

Drawing No.
HAT-HSD-XX-GN-DR-C-0102   Rev. C02

© Jasper Kerr Consulting Engineers

Goldsmith Way
Comet Way (A1001)
AHEAD ONLY

NEW SADDLE CONNECTION TO BE INSTALLED ON EXISTING THAMES WATER FOUL SEWER

GULLY TO DRAIN INTO VEGETATION, APPROXIMATELY 43m³ OF FOOTWAY TO DRAIN VIA GULLY

SURFACE WATER DRAINAGE TO CONNECT INTO EXISTING MANHOLE