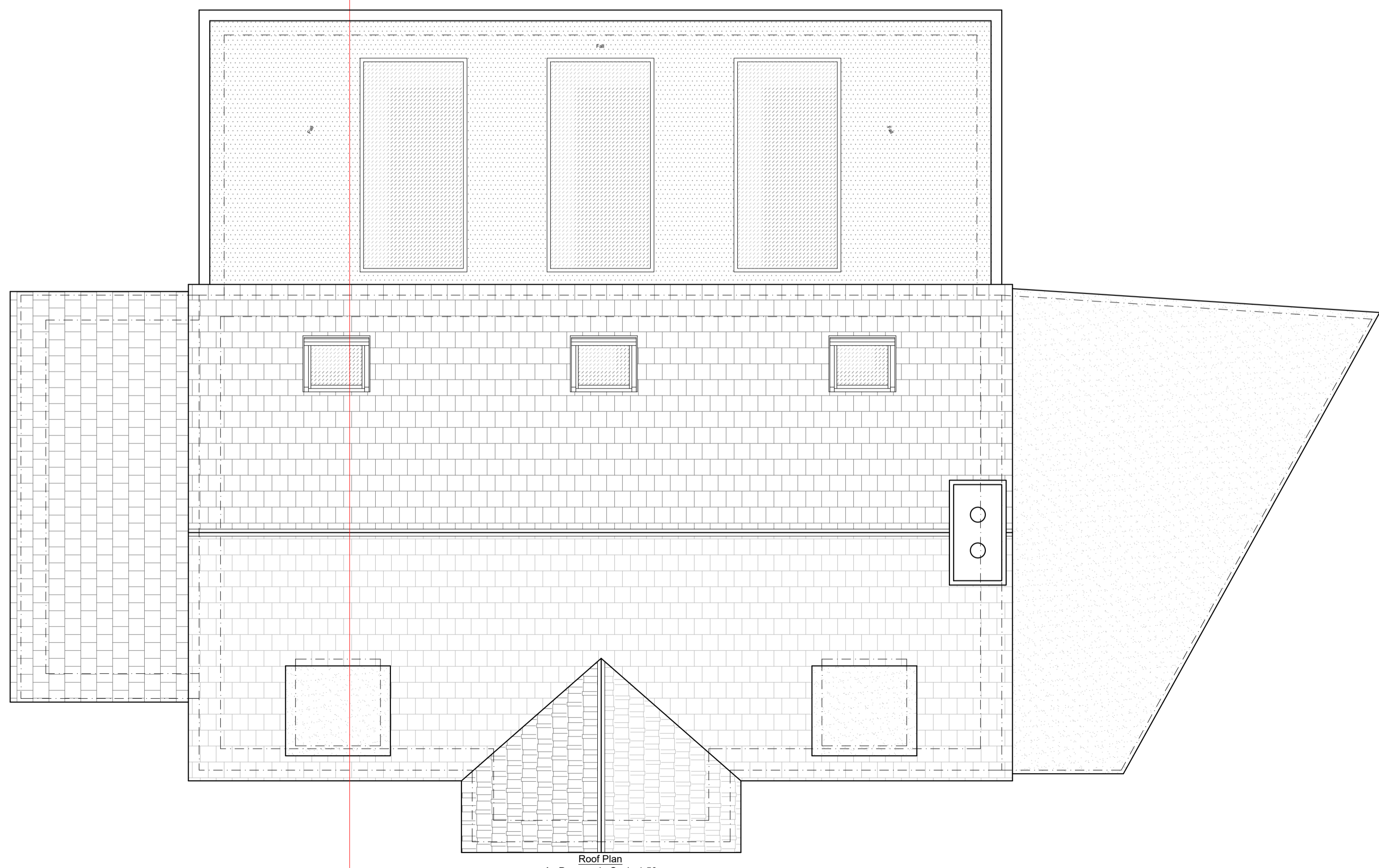
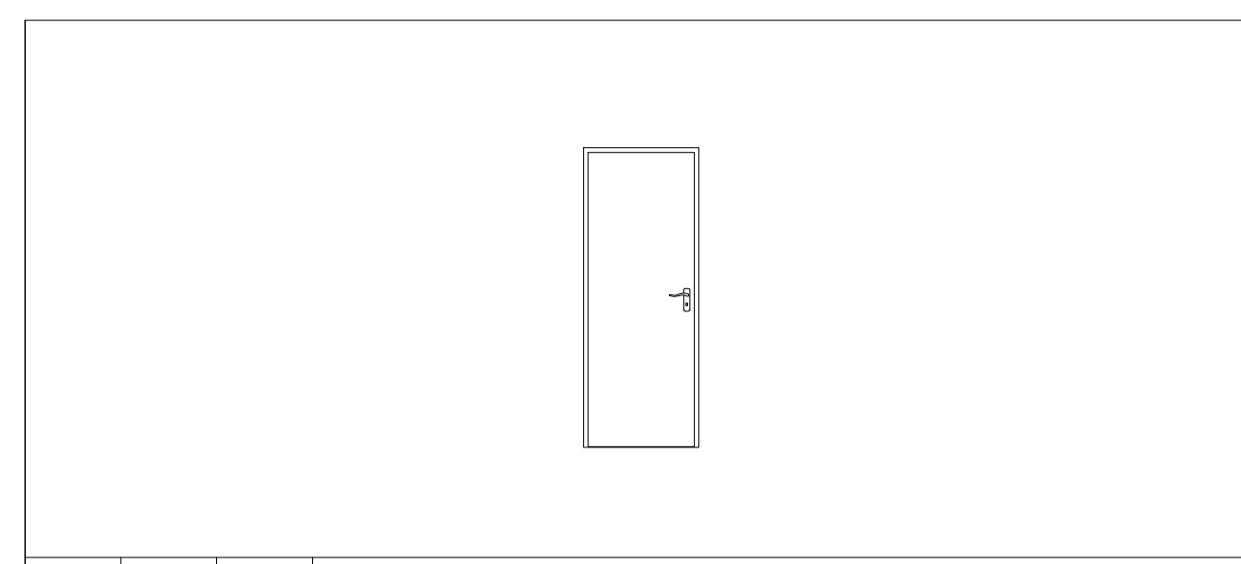


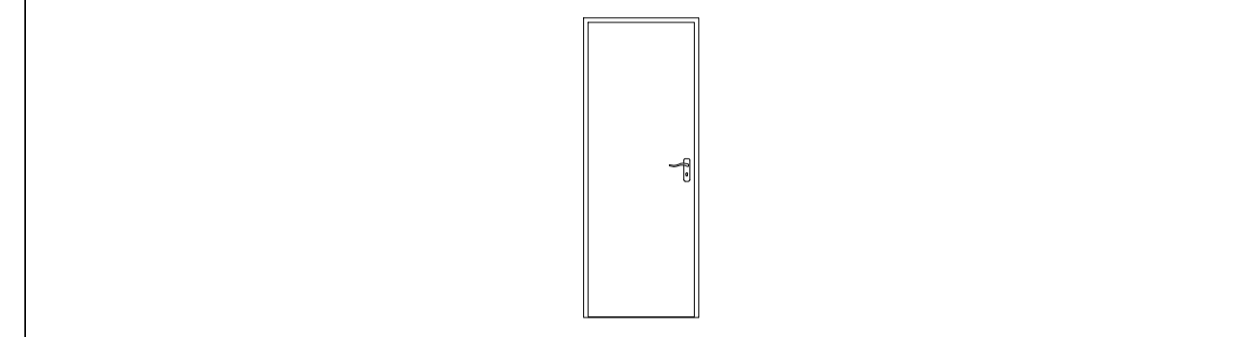
NOTE:  
New exterior finishes & fittings to tie in with and match existing.



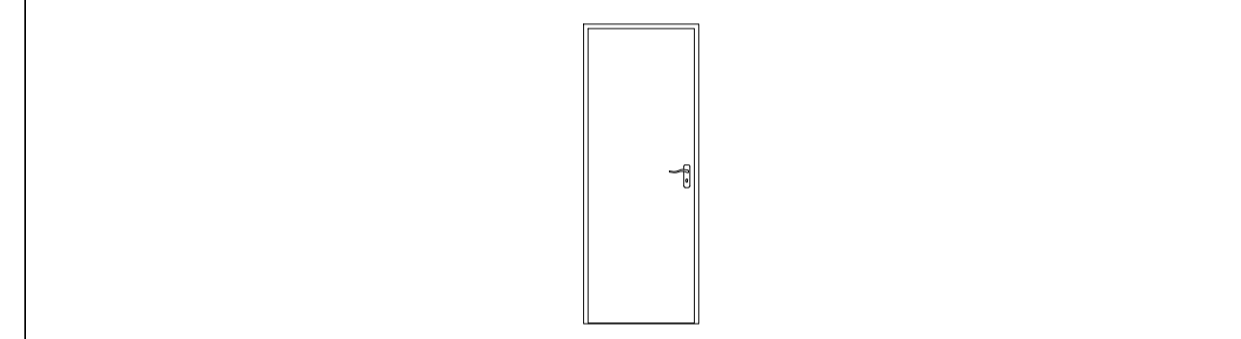
Note-Existing 2nd floor and existing dwelling roof structure above to remain unchanged



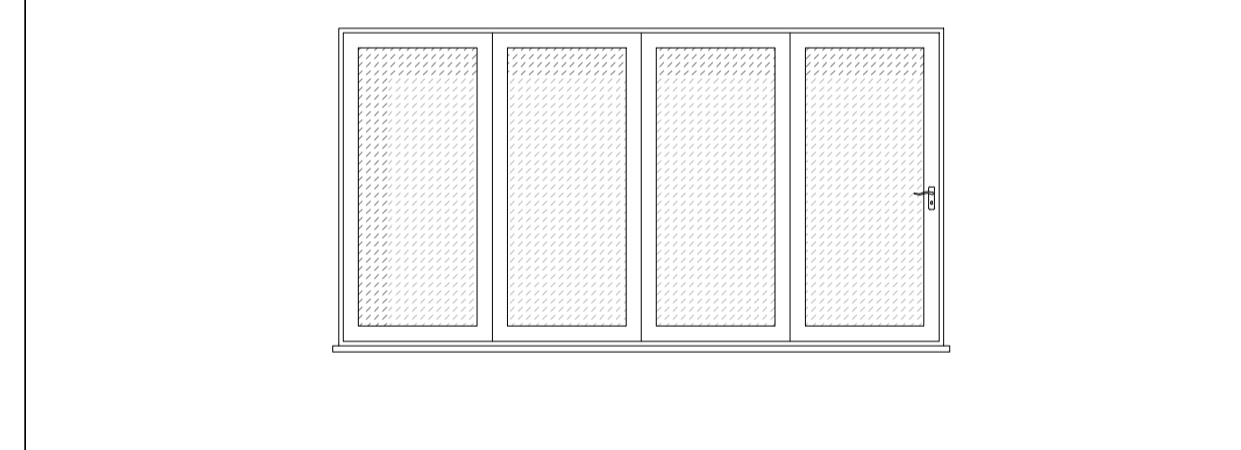
D1 | D2 | D4 | w:826mm h:2100mm - Doors D1 & D4 to have 30 minute fire rating



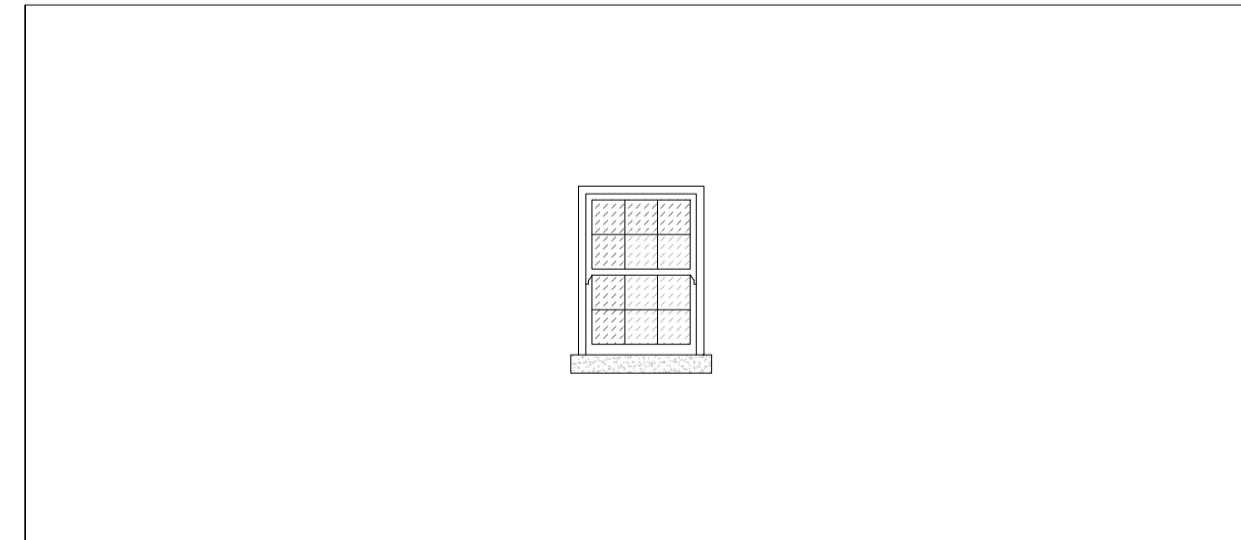
D3 | w:750mm h:2100mm



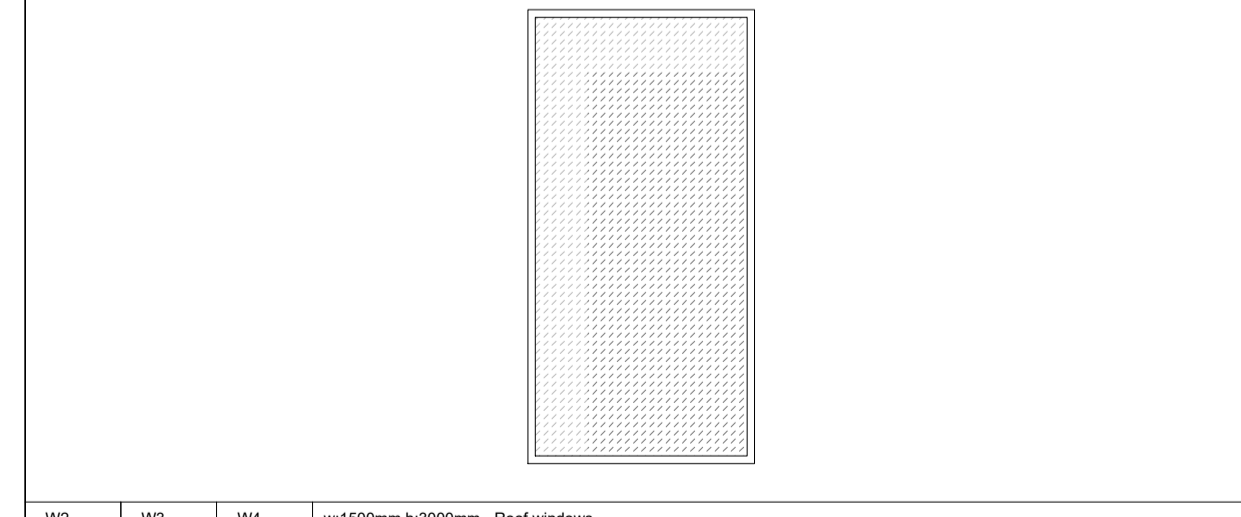
D5 | w:600mm h:2100mm



D6 | D7 | w:4000mm h:2100mm - Bi-fold patio doors

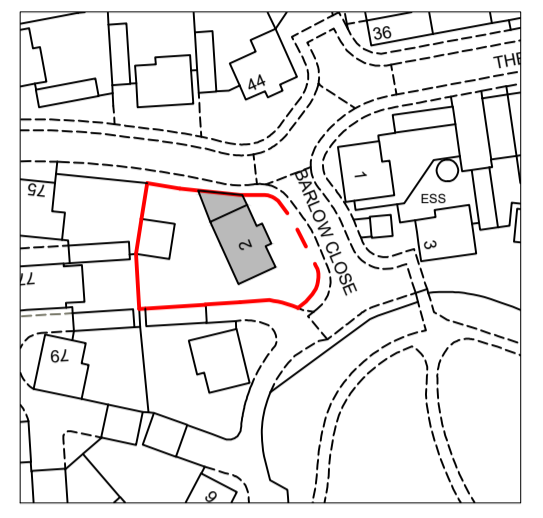


W1 | w:850mm h:1115mm - To match existing

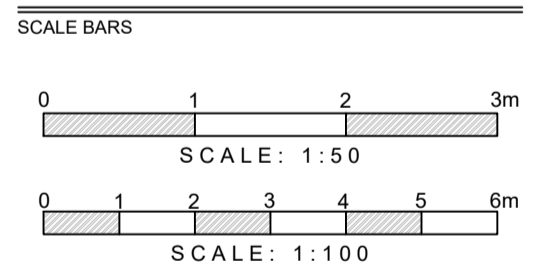


W2 | W3 | W4 | w:1500mm h:3000mm - Roof windows

NOTES:  
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All dimension should be checked on site prior to works commencing.  
Variations in squareness, depth of plaster etc. must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.  
Any discrepancies should be reported in writing immediately.  
When printing off PDF's, check that the drawings are printed to correct paper size and scale.  
Documents should be used as to the drawing status described.  
Property owner to ensure that all aspects of the 'party wall etc. act 1996' are complied with prior to any works commencing on site.  
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SCALE 1:1250



PLEASE NOTE:  
1:100 = 1CM IS 1M.  
1:50 = 1CM IS 0.5M



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Telephone: 01707 240564

PROJECT:  
Single storey rear & side extension & internal alterations  
SITE:  
2 Barlow Close, Hatfield, Herts, AL10 9GZ

DRAWING TITLE  
Proposed First Floor & Roof plan, Proposed door & window schedule

DRAWINGS STATUS  
Building control

PAPER SCALE	DATE
A1	March, 2023
DRAWN T.A.K	CHECKED HR
DRAWING REF: SH4	REVISION A