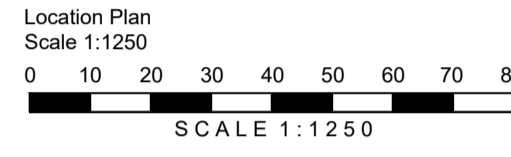
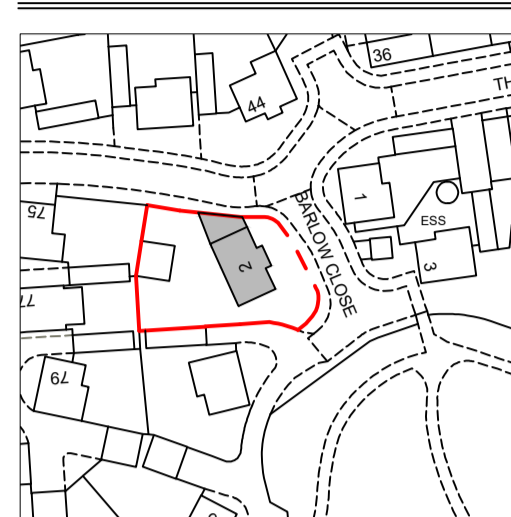


**NOTES:**  
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 All dimension should be checked on site prior to works commencing.  
 Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.  
 Any discrepancies should be reported in writing immediately.  
 When printing off PDF's, check that the drawings are printed to correct paper size and scale.  
 Documents should be used as to the drawing status described.  
 Property owner to ensure that all aspects of the Party wall etc, act 1996 are complied with prior to any works commencing on site.  
 These drawings are not to be re-drawn, copied or sold unless permission has been given by Signature Buildings Ltd.



## GENERAL BUILDING REGULATION SPECIFICATION

**CDM REGULATIONS**  
 The client must abide by the Construction Design and Management Regulations 2015

**PARTY WALL ACT**  
 The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on an adjoining owner if building work on, or near an existing Party Wall involves any of the following:  
 • Support of beams  
 • Insertion of DPC through wall  
 • Flaying a wall or cutting off projections  
 • Demolition and rebuilding  
 • Underpinning  
 • Insertion of lead flashings  
 • Excavations within 3 metres of an existing structure where the new foundations go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.  
 A Party Wall Agreement is to be in place prior to start of works on site.

**THERMAL BRIDGING**  
 Care shall be taken to limit the occurrence of thermal bridging in the insulation layers caused by gaps within the thermal element, (i.e. around windows and door openings). Reasonable provision shall also be made to ensure the extension is constructed to minimise unwanted air leakage through the new building fabric.

**MATERIALS AND WORKMANSHIP**  
 All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Mark) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

**SITE PREPARATION**  
 Ground to be prepared for new works by removing all unsuitable material, vegetable matter and tree or shrub roots to a suitable depth to prevent future growth. Seal up, cap off, disconnect and remove existing redundant services as necessary. Reasonable precautions must also be taken to avoid danger to health and safety caused by contaminants and ground gases e.g. landfill gases, radon, vapours etc. on or in the ground covered, or to be covered by the building.

**EXISTING STRUCTURE**  
 Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

**ELECTRICAL**  
 All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BS, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

**INTERNAL LIGHTING**  
 Install low energy light fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lumens. Not less than three energy efficient light fittings per four of all light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.

**HEATING**  
 Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities by laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**NEW GAS BOILER**  
 Heating and hot water will be supplied via a wall mounted condensing vertical balanced flue pressurised boiler with a min SEDBUK rating of 90%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic radiator valves and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a "competent person" and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities by laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**SMOKE DETECTION**  
 Means operated linked smoke alarm detection system to BS EN 14604 and BS5838-2:2004 at least a Grade D category LED standard and to be mains powered with battery back up. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on all levels/ storeys and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

**ESCAPE WINDOWS**  
 Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed operable area of 450mm high x 450mm wide, minimum 0.33m<sup>2</sup> sqm. The bottom of the operable area should be not more than 1100mm above the floor. The window should enable the person to reach a place free from danger from fire.

**RAINWATER DRAINAGE**  
 New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.

**ABOVE GROUND DRAINAGE**  
 All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)  
 Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe  
 Bath/shower - 3m for 40mm pipe 4m for 50mm pipe  
 WC - 6m for 100mm pipe for single WC  
 All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any openings within 3m.  
 Or to 110mm uPVC soil pipe with accessible internal air admittance valve complying with BS EN 12280, placed at a height so that the outlet is above the top of the highest fitting.  
 Waste pipes not to connect on to SWP within 200mm of the WC connection.  
 Supply hot and cold water to all fittings as appropriate.

**SOIL AND VENT PIPE**  
 SWP to be extended up in 110mm dia UPVC and to terminate min 900mm above any openings within 3m. Provide a long radius bend at foot of SWP.

**AUTOMATIC AIR VALVE**  
 Ground floor fittings from WC to be connected to new 110mm UPVC soil pipe with accessible internal air admittance valve complying with BS EN 12280, placed at a height so that the outlet is above the top of the highest fitting and connected to underground quality drainage encased with pea gravel to a depth of 150mm.

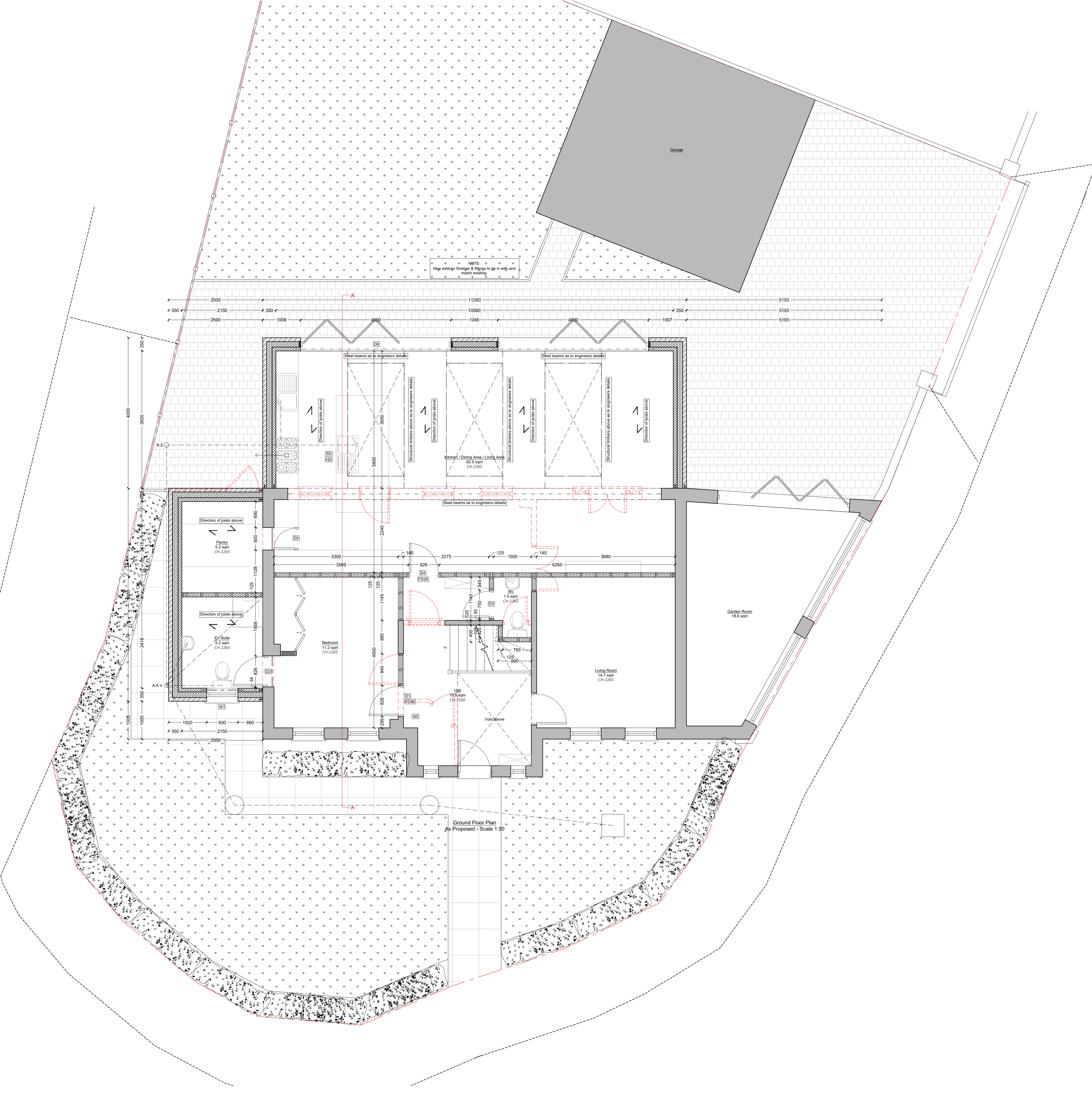
**PIPES UNDER BUILDINGS (PRIVATE)**  
 Where the crown proprietary uPVC pipe is within 300mm of the underside of the slab, the pipe(s) should be surrounded with 150mm concrete as an integral part of the floor slab.

**INSPECTION CHAMBERS (PRIVATE)**  
 Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45m in straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

**INSPECTION CHAMBERS (SHARED SEWER)**  
 Construction type to match existing manholes if new manhole required.

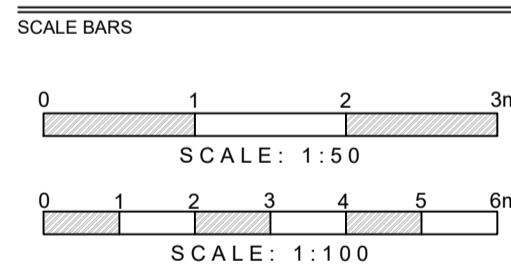
**VENTILATION**  
 Ventilation provision to be in accordance with the Domestic Ventilation Compliance Guide.  
 Internal doors should be provided with a 10mm gap below the door (700mm wide) to aid air circulation.  
 Identified extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3.  
 All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

**BACKGROUND AND PURGE VENTILATION**  
 Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-2:2004 (Clause 4), within the window frame to be provided to new habitable rooms at a rate of min 5000mm<sup>2</sup> and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm<sup>2</sup>.  
 Purge ventilation - New windows/rooftlights to have operable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°.



**NOTE:**  
 New exterior finishes & designs to go in with and match existing.

Ground Floor Plan  
 As Proposed - Scale 1:50



**PLEASE NOTE:**  
 1:100 = 1CM IS 1M.  
 1:50 = 1CM IS 0.5M



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**PROJECT:**  
 Single storey rear & side extension & internal alterations

**SITE:**  
 2 Barlow Close, Hatfield, Herts, AL10 9GZ

<b>DRAWING TITLE</b> Proposed Ground Floor plan	
<b>DRAWINGS STATUS</b> Building control	
<b>PAPER SCALE</b> A1	<b>DATE</b> March, 2023
<b>DRAWN</b> TAK	<b>CHECKED</b> HR
<b>DRAWING REF:</b> SH3	<b>REVISION</b> A